

- GENERAL NOTES**
1. INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND LEICA VIVA TS15 SMART POLE TOTAL STATION/RTK GPS.
 2. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090. SURVEY WAS COMPLETED BY A FIELD TRAVERSE.
 3. UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS, UTILITY LOCATES BY THIRD PARTIES, AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
 4. ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.
 5. CONTOURS SHOWN ARE BASED ON A FIELD SURVEY.
 6. TREE IDENTIFICATION WAS PERFORMED BY SURVEY FIELD PERSONNEL AND SHOULD BE CONSIDERED A BEST GUESS. AN ARBORIST SHOULD BE RELIED UPON FOR MORE ACCURATE AND DETAILED IDENTIFICATION OF TREE SPECIES AND HEALTH.

PROJECT INFORMATION

SURVEYOR: PLOG ENGINEERING, PLLC
22525 SE 64TH PL, STE 2274
ISSAQUAH, WA 98027
PH.: (206) 420-7130

PROPERTY OWNER: LINDSEY HOLT
9224 SE 60TH ST
MERCER ISLAND, WA 98040

TAX PARCEL NUMBER: 865110-0140

PROJECT ADDRESS: 9224 SE 60TH ST
MERCER ISLAND, WA 98040

PARCEL AREA: 15,367 S.F. (0.352 ACRES ±)
AS SURVEYED

REFERENCE SURVEYS

P1 - PLAT OF TIMBERLAND NO. 6, VOL 68, PG 15

LEGAL DESCRIPTION

LOT 14, BLOCK 1, TIMBERLAND NO. 6, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 68 OF PLATS PAGE 15, RECORDS OF KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

PER THE PLAT OF TIMBERLAND NO. 6, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 68 OF PLATS PAGE 15, RECORDS OF KING COUNTY, WASHINGTON.

ACCEPTED THE PLAT BEARINGS BASED ON FOUND MONUMENTS IN CASE.

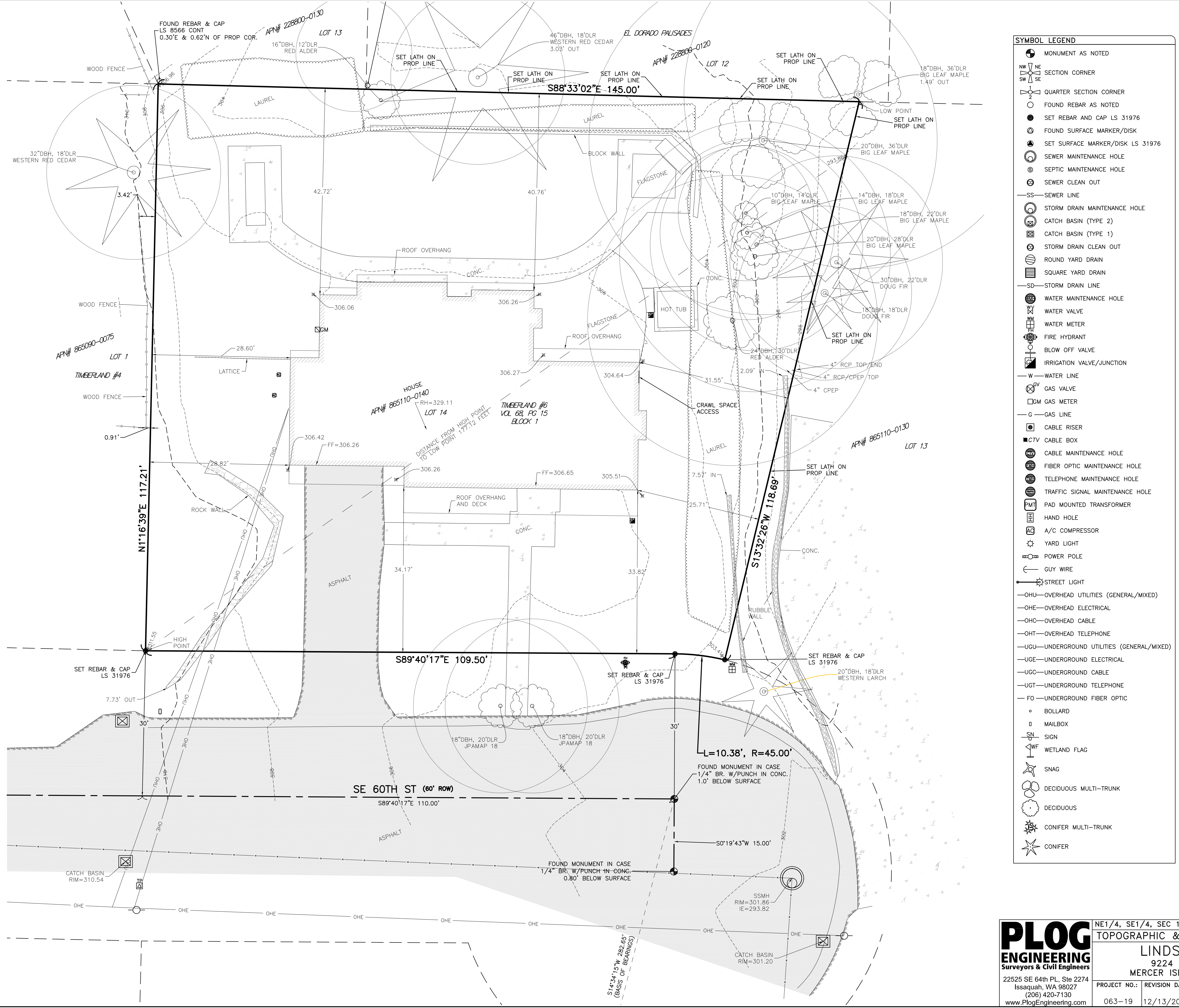
VERTICAL DATUM & CONTOUR INTERVAL

ELEVATIONS SHOWN ON THIS DRAWING ARE BASE ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND WERE ESTABLISHED USING RTK GPS.

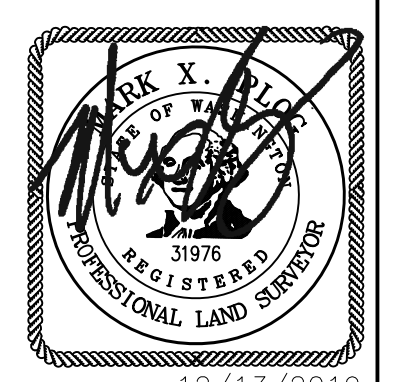
2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR ± 1.0' FOR THIS PROJECT.

ABBREVIATION LEGEND

MON = MONUMENT
DN = DOWN
SP = SHORT PLAT
BLA = BOUNDARY LINE ADJUSTMENT
DBH = DIAMETER AT BREAST HEIGHT (FT)
DLR = DRIP LINE RADIUS (FT)
APN# = ASSESSOR'S PARCEL NUMBER
AF# = AUDITOR'S FILE NUMBER
(M) = AS MEASURED
(C) = AS CALCULATED
(P) = PER PLAT
(D) = PER DEED
(R#) = PER REFERENCE SURVEY



- SYMBOL LEGEND**
- MONUMENT AS NOTED
 - SECTION CORNER
 - QUARTER SECTION CORNER
 - FOUND REBAR AS NOTED
 - SET REBAR AND CAP LS 31976
 - FOUND SURFACE MARKER/DISK
 - SET SURFACE MARKER/DISK LS 31976
 - SEWER MAINTENANCE HOLE
 - SEPTIC MAINTENANCE HOLE
 - SEWER CLEAN OUT
 - SEWER LINE
 - STORM DRAIN MAINTENANCE HOLE
 - CATCH BASIN (TYPE 2)
 - CATCH BASIN (TYPE 1)
 - STORM DRAIN CLEAN OUT
 - ROUND YARD DRAIN
 - SQUARE YARD DRAIN
 - STORM DRAIN LINE
 - WATER MAINTENANCE HOLE
 - WATER VALVE
 - WATER METER
 - FIRE HYDRANT
 - BLOW OFF VALVE
 - IRRIGATION VALVE/JUNCTION
 - WATER LINE
 - GAS VALVE
 - GAS METER
 - GAS LINE
 - CABLE RISER
 - CABLE BOX
 - CABLE MAINTENANCE HOLE
 - FIBER OPTIC MAINTENANCE HOLE
 - TELEPHONE MAINTENANCE HOLE
 - TRAFFIC SIGNAL MAINTENANCE HOLE
 - PAD MOUNTED TRANSFORMER
 - HAND HOLE
 - A/C COMPRESSOR
 - YARD LIGHT
 - POWER POLE
 - GUY WIRE
 - STREET LIGHT
 - OHU—OVERHEAD UTILITIES (GENERAL/MIXED)
 - OHE—OVERHEAD ELECTRICAL
 - OHC—OVERHEAD CABLE
 - OHT—OVERHEAD TELEPHONE
 - UGU—UNDERGROUND UTILITIES (GENERAL/MIXED)
 - UGE—UNDERGROUND ELECTRICAL
 - UGC—UNDERGROUND CABLE
 - UGT—UNDERGROUND TELEPHONE
 - FO—UNDERGROUND FIBER OPTIC
 - BOLLARD
 - MAILBOX
 - SIGN
 - WETLAND FLAG
 - SNAG
 - DECIDUOUS MULTI-TRUNK
 - DECIDUOUS
 - CONIFER MULTI-TRUNK
 - CONIFER



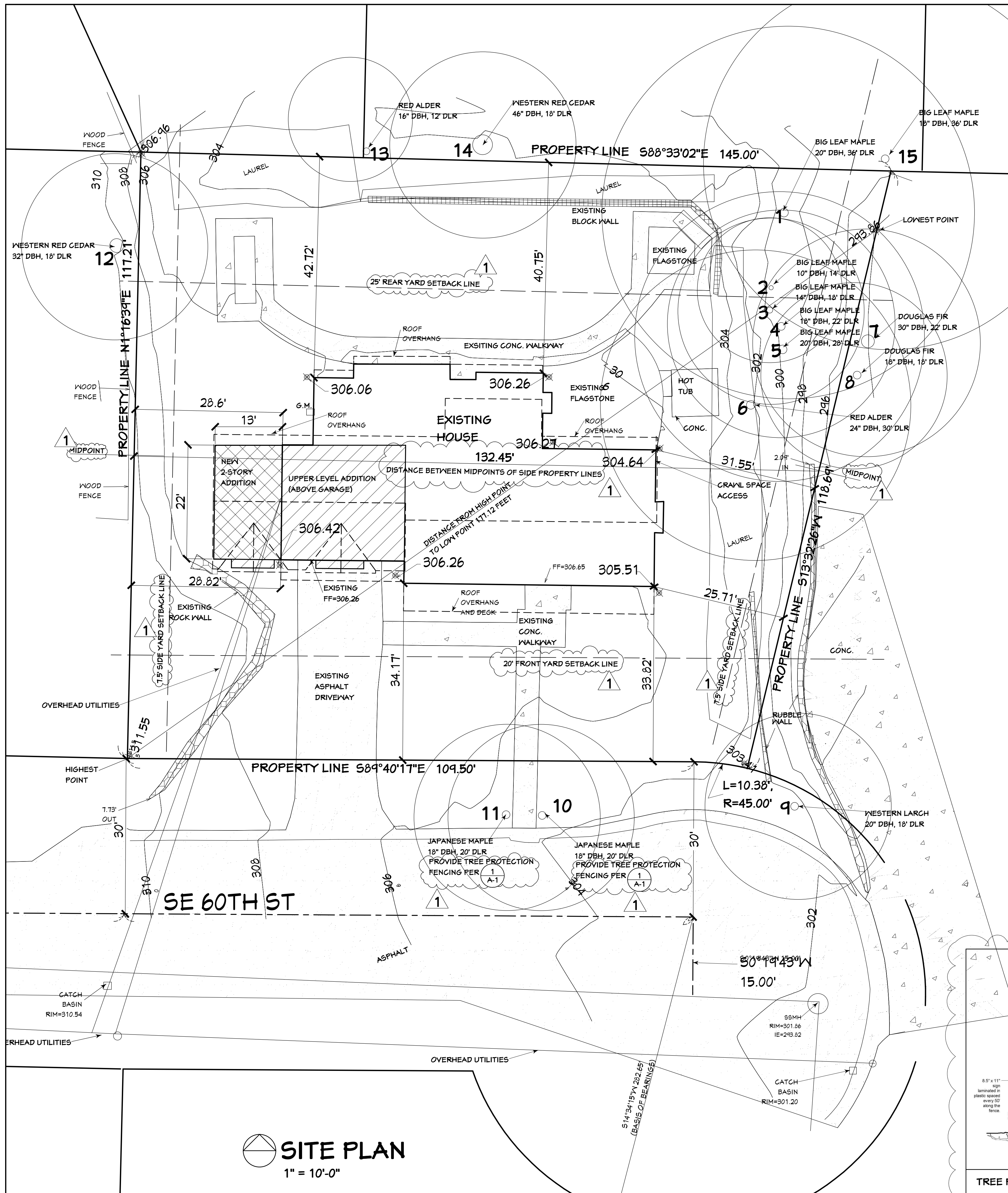
12/13/2019

PLOG ENGINEERING
Surveys & Civil Engineers
22525 SE 64th PL, Ste 2274
Issaquah, WA 98027
(206) 420-7130
www.PlogEngineering.com

NE1/4, SE1/4, SEC 19, TWP 24N, RNG 05E, W.M.
TOPOGRAPHIC & BOUNDARY SURVEY

LINDSEY HOLT
9224 SE 60TH ST
MERCER ISLAND, WA 98040

PROJECT NO.:	REVISION DATE:	REVISION NO.:	SHEET
063-19	12/13/2019	0	1 OF 1



SITE PLAN
1" = 10'-0"

NOTES:

PARCEL NUMBER: 8651100140
 LEGAL DESCRIPTION: LOT 14, BLOCK 1, TIMBERLAND #6
 OWNER: ADAM AND LINDSEY HOLT
 CONTACT PERSON: GINDY LARSEN (206) 232 0602
 ZONING: R-15
 LOT AREA: 15361 S.F. PER SURVEY
 TYPE OF CONSTRUCTION: V-N
 CODES: 2015 IRC, 2015 IWA STATE ENERGY CODE, PREScriptive OPTION
ENERGY CREDITS: 1.5 CREDITS REQUIRED, USE OPTION 1A, EFFICIENT BUILDING ENVELOPE, FLOOR R-30, WINDOWS MAX. U=28 USE OPTION 3A, EFFICIENT HVAC, GAS FURNACE AFUE MIN. = 82% CONTINUOUS WHOLE HOUSE VENTILATION INTEGRATED WITH A FORCED AIR SYSTEM 4-5 BEDROOMS & 3001-4500 S.F. = 40 CFM

VENTILATION:

AREAS:
 EXISTING MAIN LEVEL 1908 S.F.
 EXISTING UPPER LEVEL 1979.8 S.F.
 EXISTING GARAGE 518 S.F.
 EXISTING UPPER DECK 248.2 S.F.
 PROPOSED UPPER AREA 847.6 S.F.
 PROPOSED STORAGE AREA 286 S.F.

GROSS FLOOR AREA:
 ALLOWED GFA 40% X 15361 S.F. = 6146.8 S.F.
 EXISTING GFA 4011.2 S.F. / 15361 = 26.04%
 UPPER LEVEL 1979
 MAIN LEVEL 1908
 GARAGE 518
 ROOFED UPPER DECK 248.2 S.F.
 STAIRWELL MODIFIER (46)
 PROPOSED GFA 5134.8 S.F. / 15361 = 33.4%
 NEW UPPER LEVEL 847.6 S.F.
 NEW STORAGE 286 S.F.

LOT SLOPE:
 HIGHEST ELEVATION: 311.55'
 LOWEST ELEVATION: 293.86'
 DIFFERENCE: 17.67'
 HORIZONTAL DISTANCE BETWEEN HIGH AND LOW: 117.12'
 LOT SLOPE: 9.96%

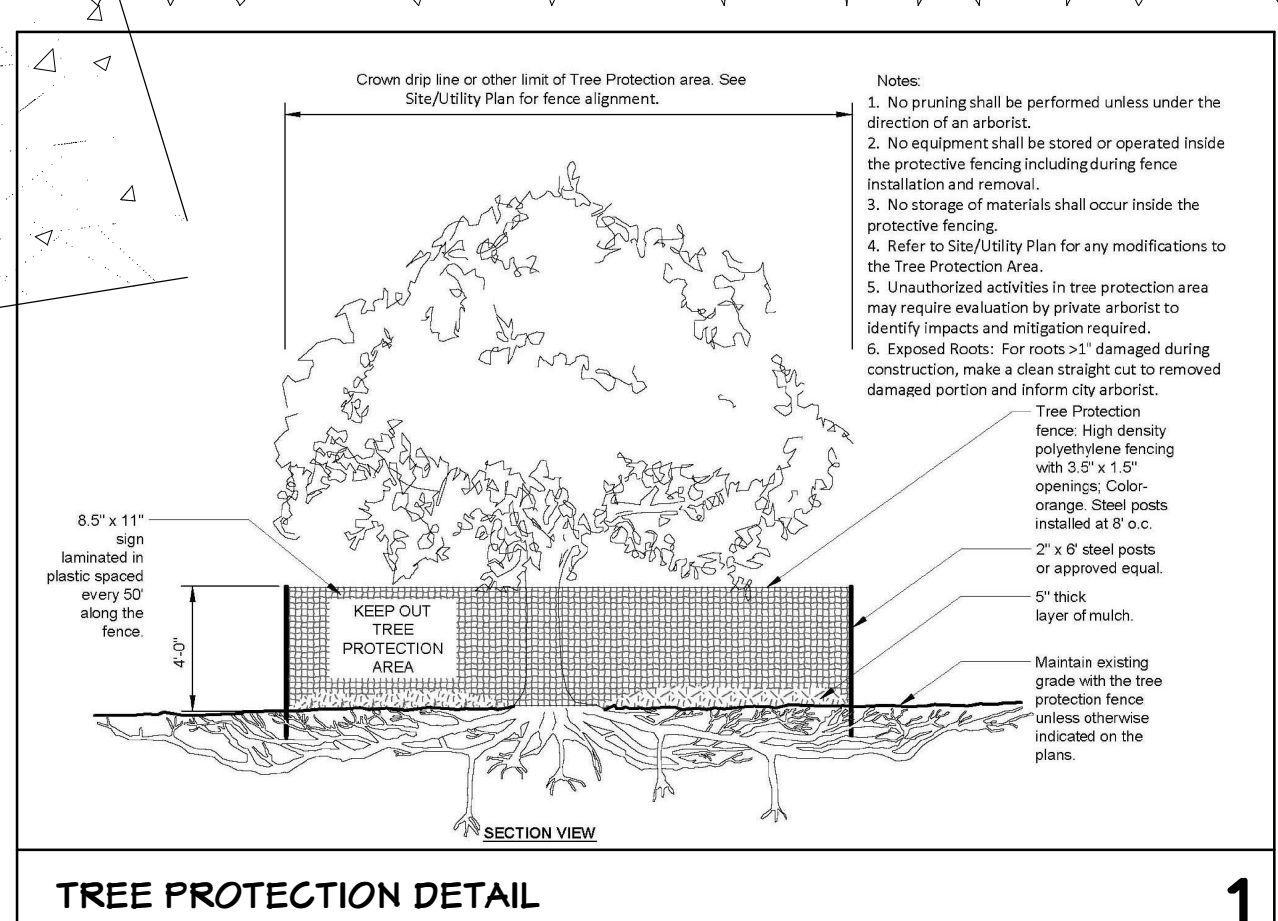
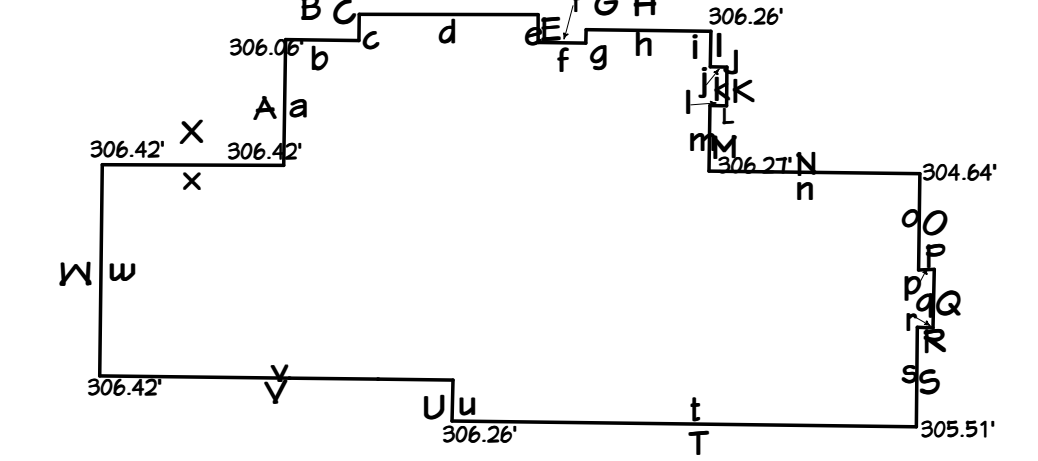
LOT COVERAGE:
 ALLOWED COVERAGE: 40% X 15361 S.F. = 6146.8 S.F.
 EXISTING COVERAGE: 3411 S.F. = 22.2%
 ROOF AREA: 2841 S.F.
 VEHICULAR AREA BEYOND ROOF 526 S.F.
 PROPOSED NEW ROOF AREA 353.8 S.F.
 PROPOSED COVERAGE: 3710.8 S.F. = 24.5%

HARDSCAPE COVERAGE:
 ALLOWED COVERAGE 9% X 15361 S.F. = 1383.09 S.F.
 EXISTING COVERAGE (UNCHANGED) 1624.21 S.F. = 10.6%

EXISTING SOUTH CONC. WALKWAY 280 S.F.
EXISTING NORTH CONC. WALKWAY 670 S.F.
EXISTING EAST FLAGSTONE 356 S.F.
EXISTING HOT TUB PAD 80 S.F.
EXISTING RETAINING & ROCKERIES 249.21 S.F.

GRADING OUTSIDE OF BUILDING FOOTPRINT: N/A

TOTAL SIDE SETBACKS
 DISTANCE BETWEEN MIDPOINTS AT SIDE PROPERTY LINES = 132.45' X 17% = 22.52'
 MINIMUM SIDE SETBACK 22.52' X 33% = 7.43'
 VARIABLE SIDE SETBACK
 WEST GABLE HT. = 21'-6 3/4" ABOVE GRADE, SETBACK = 7.5' MINIMUM
 EAST GABLE HT. = 24'-0 1/4" ABOVE GRADE, SETBACK = 7.5' MINIMUM
 AVERAGE BUILDING ELEVATION 306.08' (SEE CALCULATION BELOW AND SHEETS 5)
 MAXIMUM ALLOWABLE BUILDING HEIGHT: 336.08'



REVISIONS

1	PLAN REVIEW
---	-------------

CONSULTANTS
 MITCHELL ENGINEERING, INC.
 425-741-1500

FOR: MESTHILL, INC.
 PO BOX 306
 NODDINVILLE, MA 08012
 (425) 489-0494

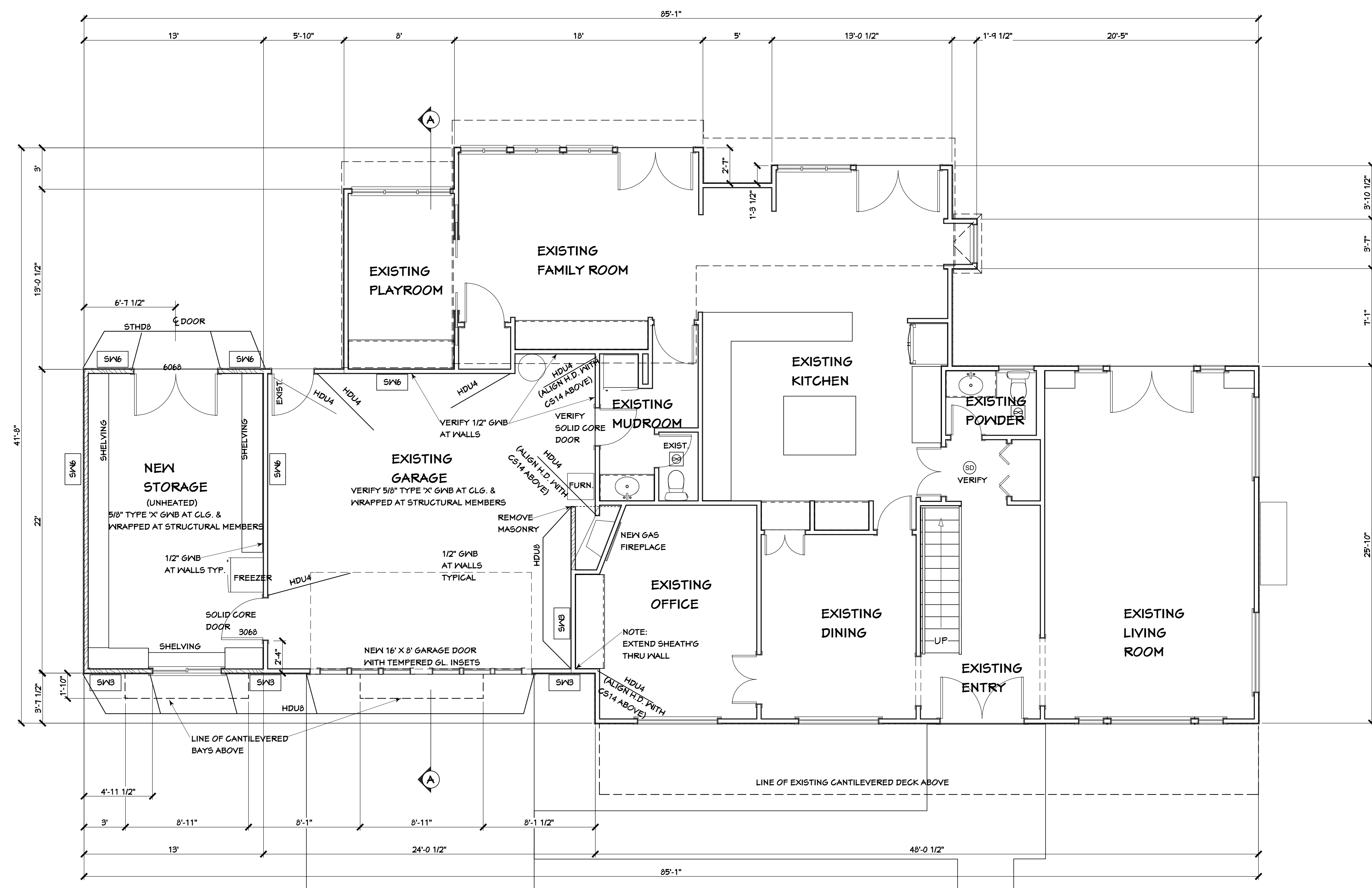
HOLT RESIDENCE
 9224 SE 60TH ST.
 MERCER ISLAND, WA 98040

BASSETT LARSEN DESIGN LLC
 2704 34TH AVENUE SOUTH, SEATTLE, WA 98144. (206) 232-0602

SHEET TITLE
 NOTES
 SITE PLAN

SHEET A1
 OF 6 SHEETS

DATE
 3-13-20



REVISIONS	
1	PLAN REVIEW

CONSULTANTS
 MITCHELL ENGINEERING, INC.
 425-741-1500

4340 REGISTERED ARCHITECT
 CYNTHIA BASSETT LARSEN
 STATE OF WASHINGTON

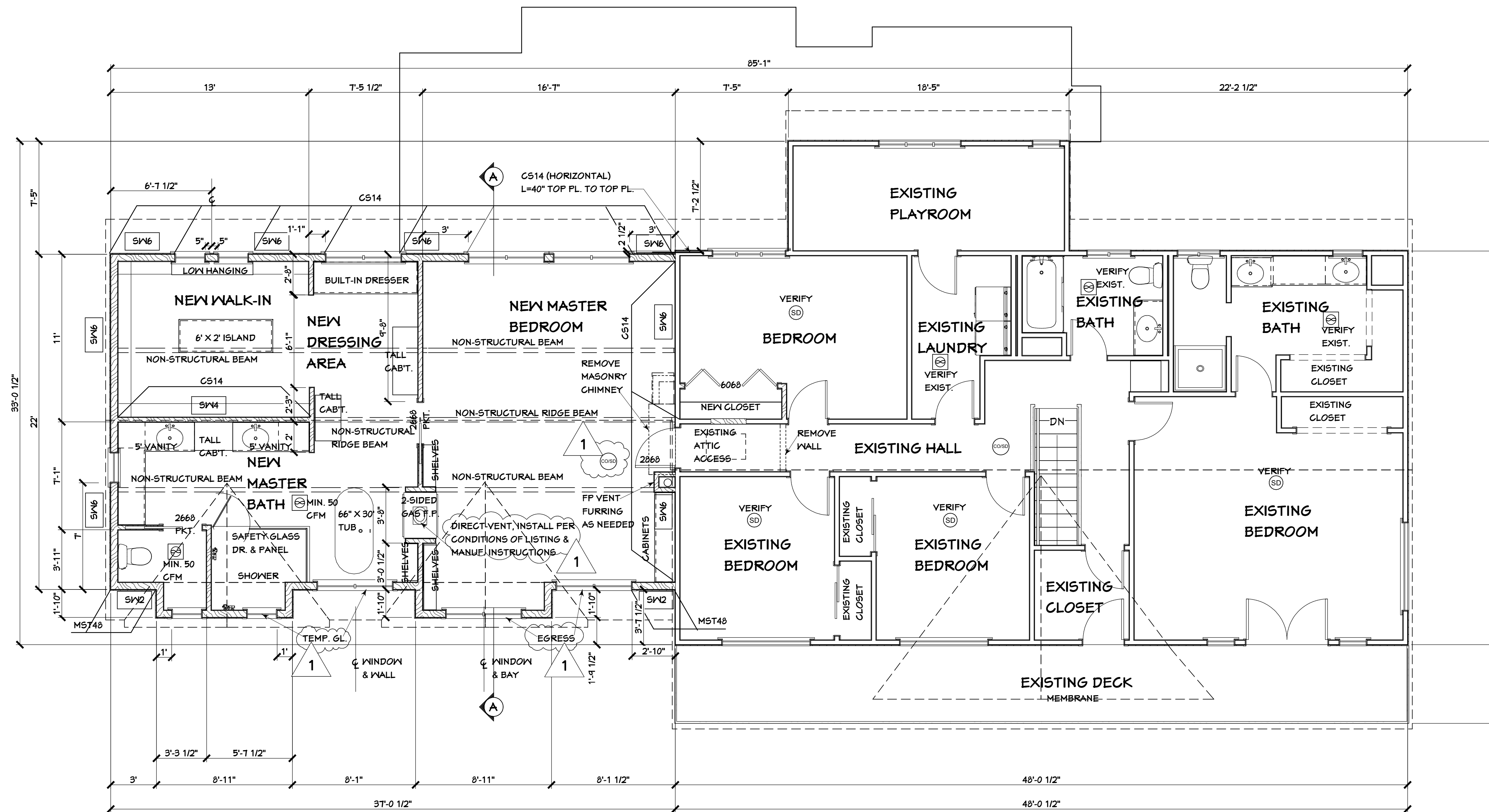
FOR: MESTHILL, INC.
 PO BOX 306
 WOODINVILLE, WA 98072
 (425) 483-0444

HOLT RESIDENCE
 4224 SE 60TH ST.
 MERCER ISLAND, WA 98040

BASSETT LARSEN DESIGN LLC
 2704 34TH AVENUE SOUTH, SEATTLE, WA 98144 | (206) 232-0602

SHEET TITLE
 REVISED MAIN LEVEL PLAN

SHEET A2
OF 6 SHEETS
 DATE 3-13-20



REVISIONS
1 PLAN REVIEW

CONSULTANTS

MITCHELL ENGINEERING, INC.
425-741-1500

4340 REGISTERED ARCHITECT
CYNTHIA BASSETT LARSEN
STATE OF WASHINGTON

FOR: MESTHILL, INC.
PO BOX 306
WOODINVILLE, WA 98072
(425) 493-0494

HOLT RESIDENCE
4224 SE 60TH ST.
MERCER ISLAND, WA 98040

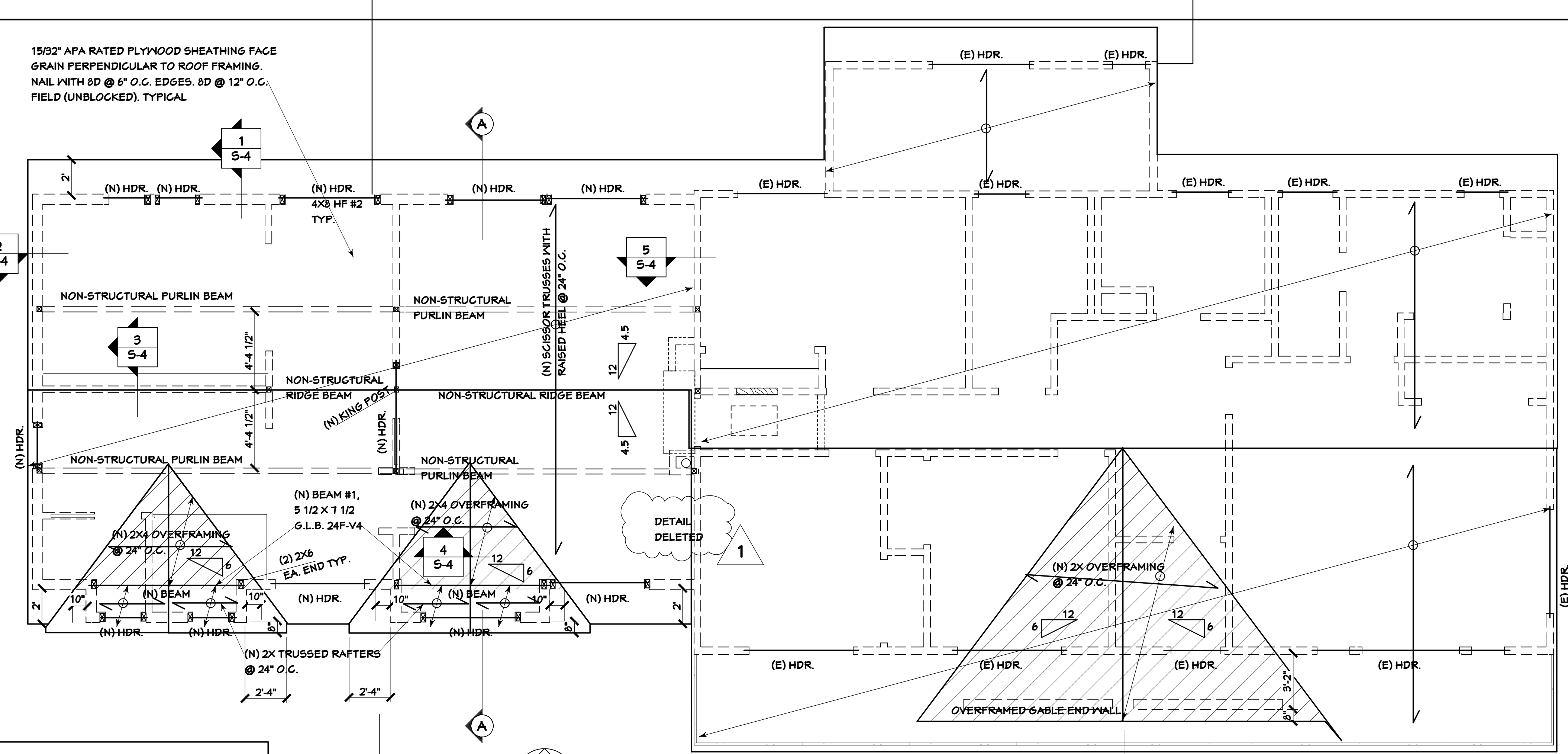
SHEET TITLE
REVISED UPPER LEVEL PLAN

SHEET **A3**
OF 6 SHEETS

DATE 3-13-20

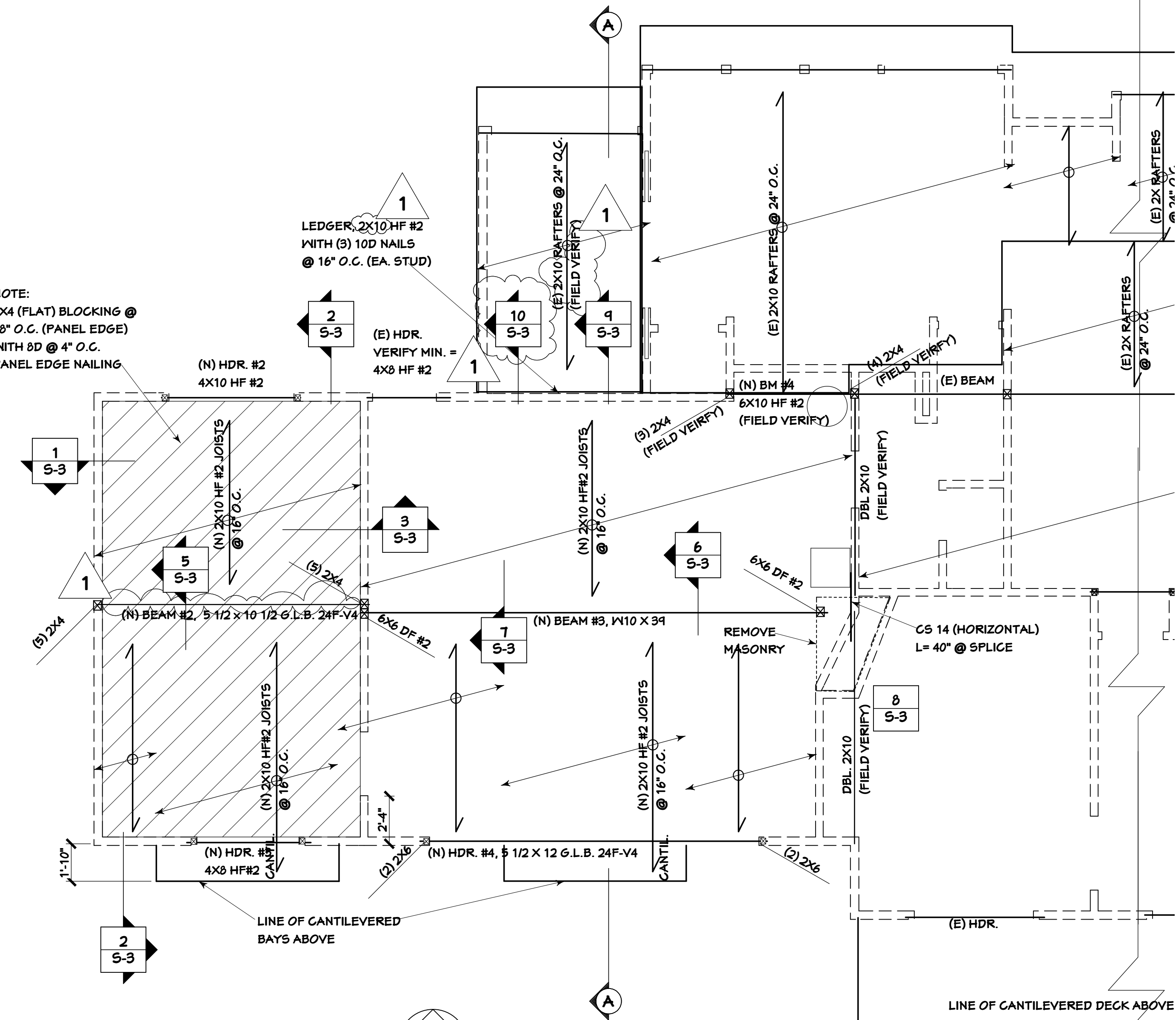
BASSETT LARSEN DESIGN LLC 2704 34TH AVENUE SOUTH, SEATTLE, WA 98144 . (206) 232-0602

15/32" APA RATED PLYWOOD SHEATHING FACE
GRAIN PERPENDICULAR TO ROOF FRAMING.
NAIL WITH 8D @ 6" O.C. EDGES. 8D @ 12" O.C.
FIELD (UNBLOCKED), TYPICAL

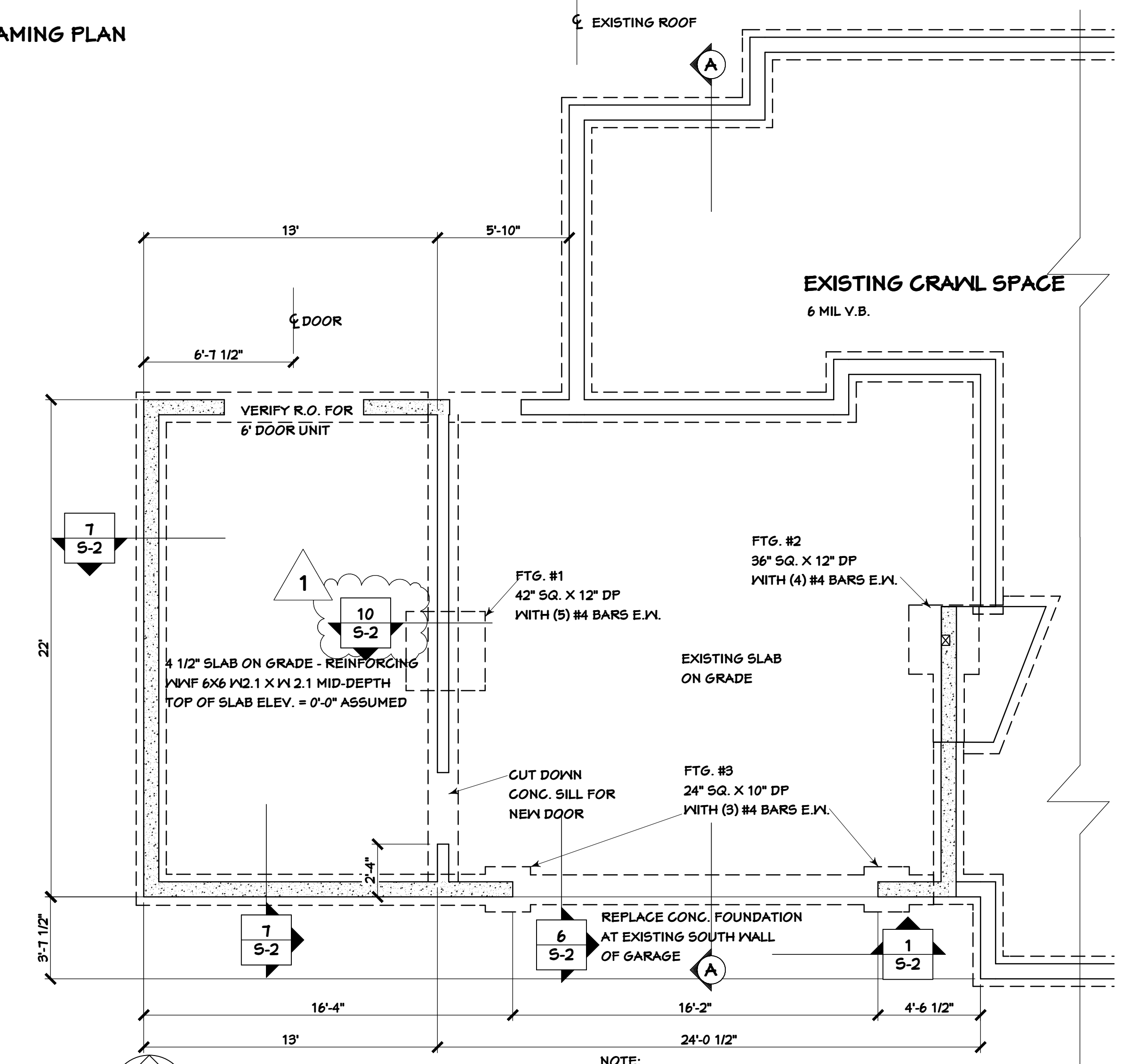


ROOF FRAMING PLAN
1/4" = 1'-0"

NOTE:
2X4 (FLAT) BLOCKING @
48" O.C. (PANEL EDGE)
WITH 8D @ 4" O.C.
PANEL EDGE NAILING



UPPER FLOOR FRAMING PLAN (PARTIAL)
1/4" = 1'-0"



REVISED FOUNDATION PLAN (PARTIAL)
1/4" = 1'-0"

NOTE:
- 16" W. X 8" DP CONTINUOUS CONC. FOUNDATION
WITH (2) #4 BARS, CONTINUOUS AT MID-DEPTH (TYP.)
- 8" W. X CONTINUOUS CONC. STEM WALL WITH #4 BARS
@ 16" O.C. HORIZONTAL & VERTICAL (TYP.)

REVISIONS
1 PLAN REVIEW

CONSULTANTS
MITCHELL ENGINEERING, INC.
425-741-1500

4340 REGISTERED ARCHITECT
CYNTHIA BASSETT LARSEN
STATE OF WASHINGTON

2704 34TH AVENUE SOUTH, SEATTLE, WA 98144 . (206) 232-0602

FOR: MESTHILL, INC.
PO BOX 306
WOODINVILLE, WA 98072
(425) 483-0444

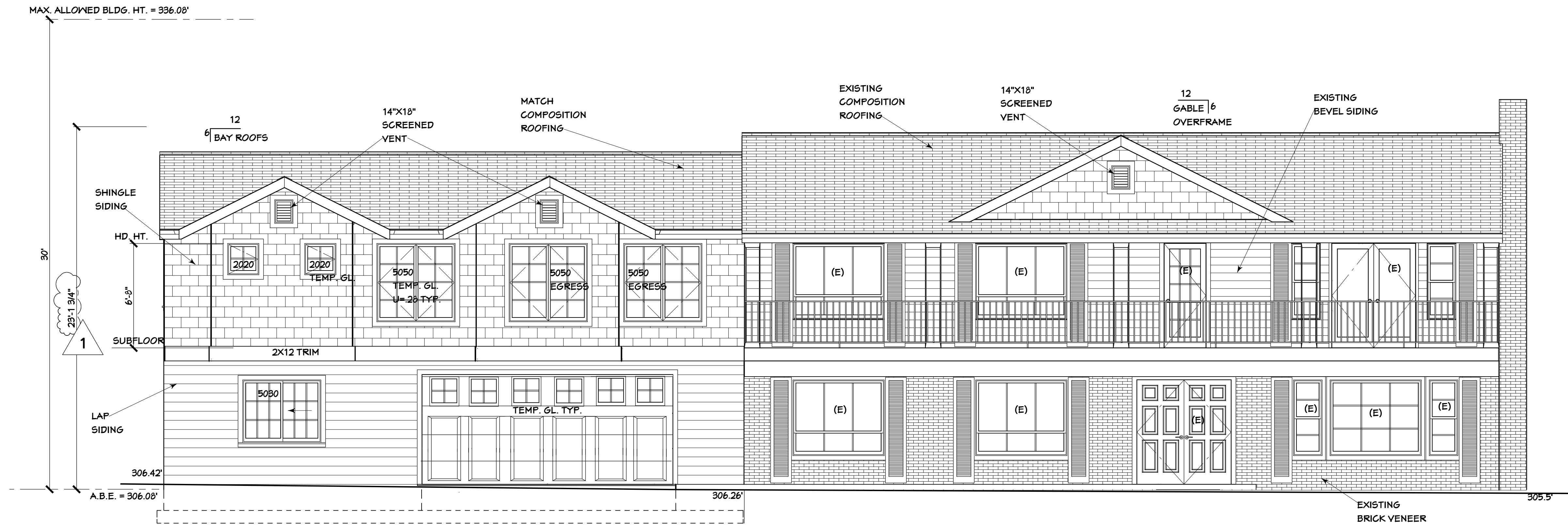
HOLT RESIDENCE
9224 SE 60TH ST.
MERCER ISLAND, WA 98040

SHEET TITLE
ROOF FRAMING PLAN
UPPER FLOOR FRAMING PLAN
REVISED FOUNDATION PLAN

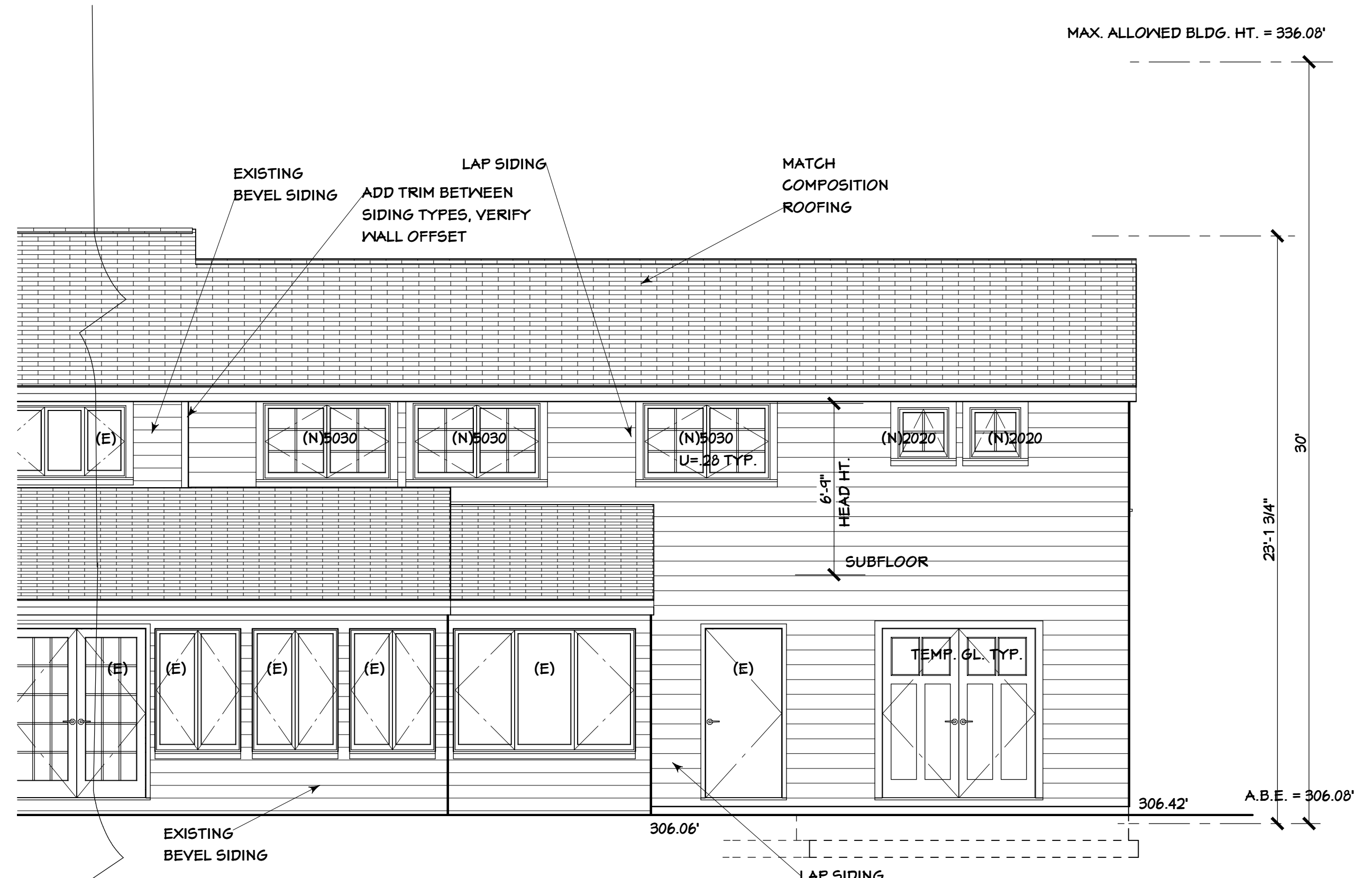
SHEET **A4**
OF 6 SHEETS

DATE 3-13-20

BASSETT LARSEN DESIGN LLC



REVISED SOUTH ELEVATION
 1/4" = 1'-0"
 NOTE: FINISHED GRADE = EXISTING GRADE



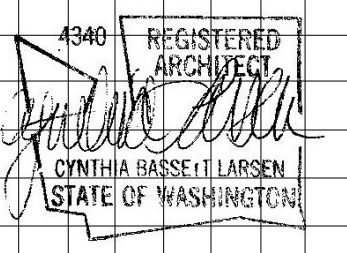
REVISED NORTH ELEVATION
 1/4" = 1'-0"
 NOTE: FINISHED GRADE = EXISTING GRADE

REVISIONS

1	PLAN REVIEW
---	-------------

CONSULTANTS

MITCHELL ENGINEERING, INC.
 425-741-1500



FOR: WESTHILL, INC.
 PO BOX 306
 WOODINVILLE, WA 98072
 (425) 483-0444

HOLT RESIDENCE
 4224 SE 60TH ST.
 MERCER ISLAND, WA 98040

2704 34TH AVENUE SOUTH, SEATTLE, WA 98144 | (206) 232-0602

BASSETT LARSEN DESIGN LLC

SHEET TITLE

REVISED SOUTH ELEVATION
 REVISED NORTH ELEVATION

SHEET **A5**

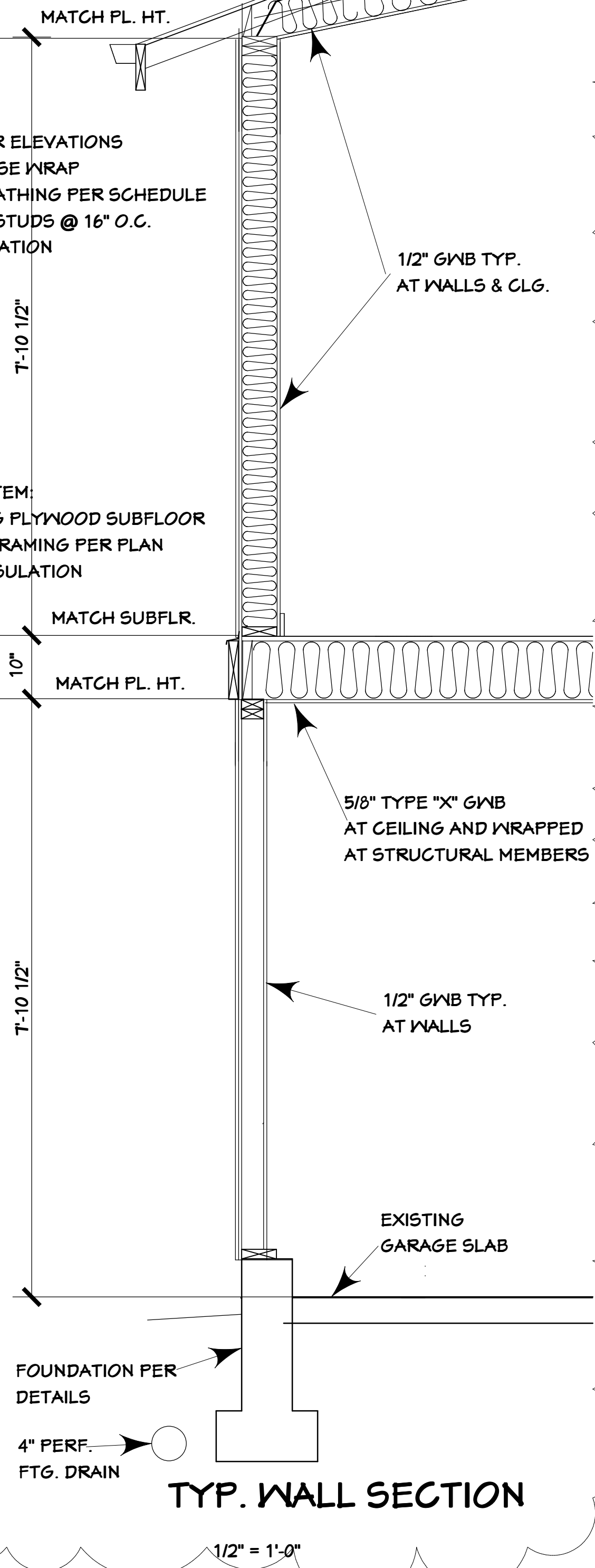
OF 6 SHEETS

DATE 3-13-20

ROOF SYSTEM:
 MATCH EXISTING COMPOSITION ROOFING
 OVER ROOFING FELT
 OVER ROOF SHEATHING PER SCHEDULE
 OVER ROOF FRAMING PER PLAN
 R-49 INSUL. WITH MIN. 1" AIRSPACE ABOVE
 PROVIDE BAFFLE TO SOLID VENT BLOCK
 AT DOUBLE TOP PLATE

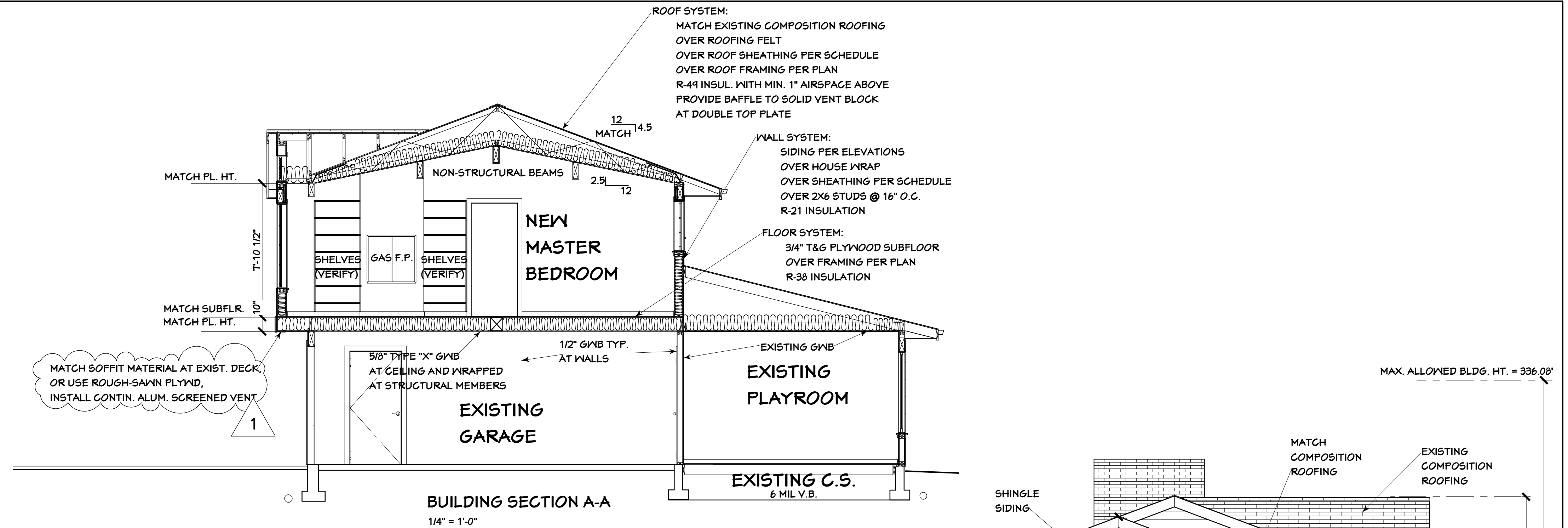
WALL SYSTEM:
 SIDING PER ELEVATIONS
 OVER HOUSE WRAP
 OVER SHEATHING PER SCHEDULE
 OVER 2X6 STUDS @ 16" O.C.
 R-21 INSULATION

FLOOR SYSTEM:
 3/4" T&G PLYWOOD SUBFLOOR
 OVER FRAMING PER PLAN
 R-38 INSULATION

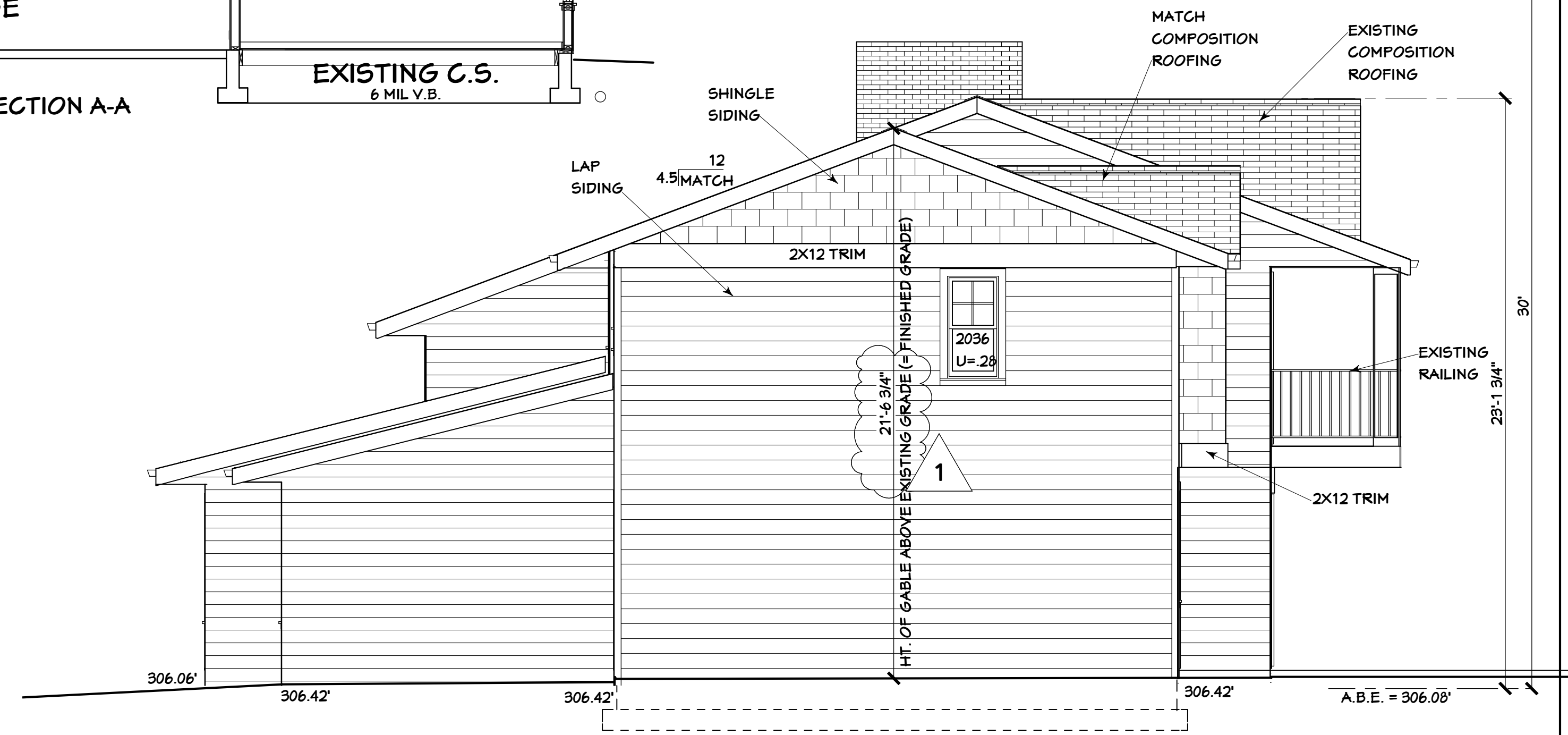


TYP. WALL SECTION

1/2" = 1'-0"



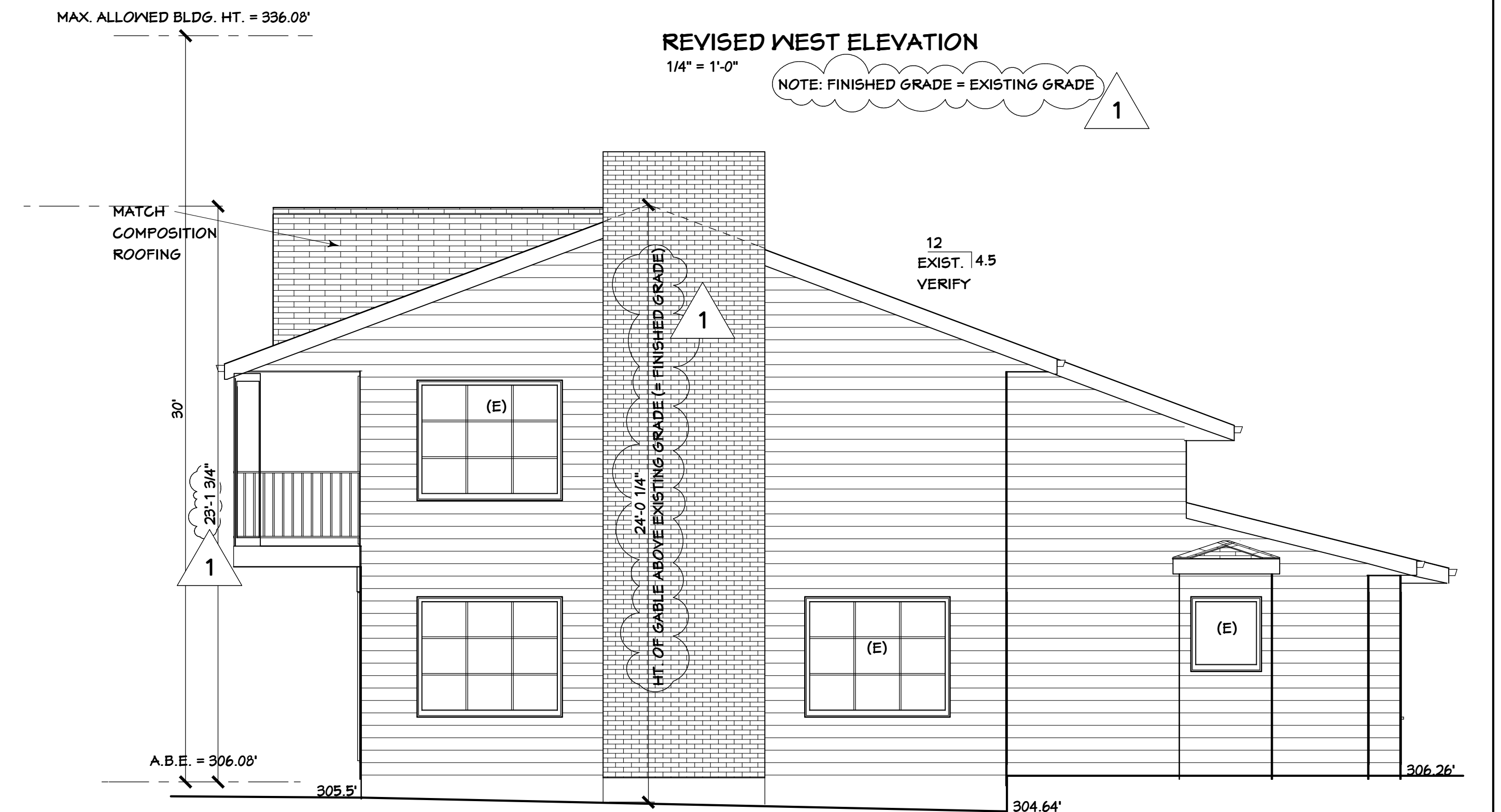
BUILDING SECTION A-A
 1/4" = 1'-0"



REVISED WEST ELEVATION

1/4" = 1'-0"

NOTE: FINISHED GRADE = EXISTING GRADE



REVISED EAST ELEVATION

1/4" = 1'-0"

NOTE: FINISHED GRADE = EXISTING GRADE

REVISIONS

1	PLAN REVIEW
---	-------------

CONSULTANTS

MITCHELL ENGINEERING, INC.
 425-741-1500

4340 REGISTERED ARCHITECT
 CYNTHIA BASSETT LARSEN
 STATE OF WASHINGTON

2704 34TH AVENUE SOUTH, SEATTLE, WA 98144 . (206) 232-0602

FOR: MESTHILL, INC.
 PO BOX 306
 WOODINVILLE, WA 98072
 (425) 483-0444

HOLT RESIDENCE
 9224 SE 60TH ST.
 MERCER ISLAND, WA 98040

SHEET TITLE

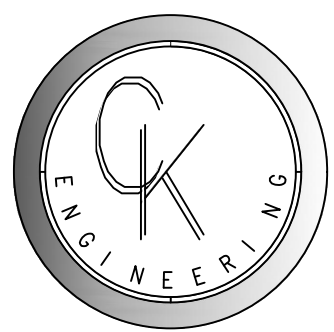
BUILDING SECTION A-A
 REVISED WEST ELEVATION
 REVISED EAST ELEVATION

SHEET **A6**

OF 6 SHEETS

DATE 3-13-20

BASSETT LARSEN DESIGN LLC



CK ENGINEERING LLC
 PROFESSIONAL STRUCTURAL
 ENGINEERING SERVICES
 19105 36th Ave W, Suite 205
 Lynnwood, WA 98036
 Phone: (206) 417-0670



6/3/2020

HOLT RESIDENCE
 9224 SE 60TH ST.
 MERCER ISLAND, WA 98040

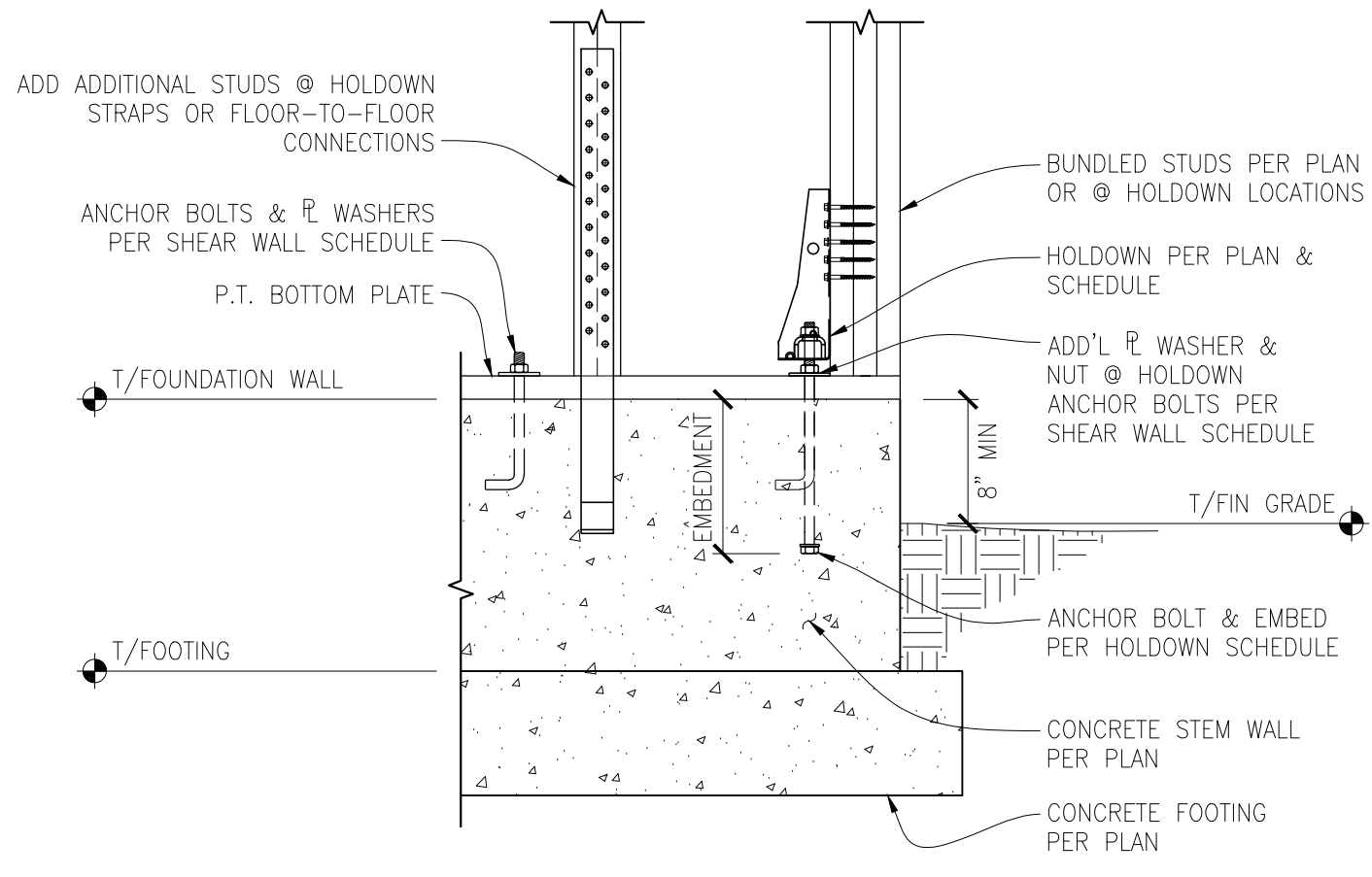
REVISION #	DATE	DESCRIPTION
1	06-03-2020	BDC REVIEW

Drawn By: PK
 Checked By: SC
 Date: 6-3-2020

CK JOB NO.
 20-014

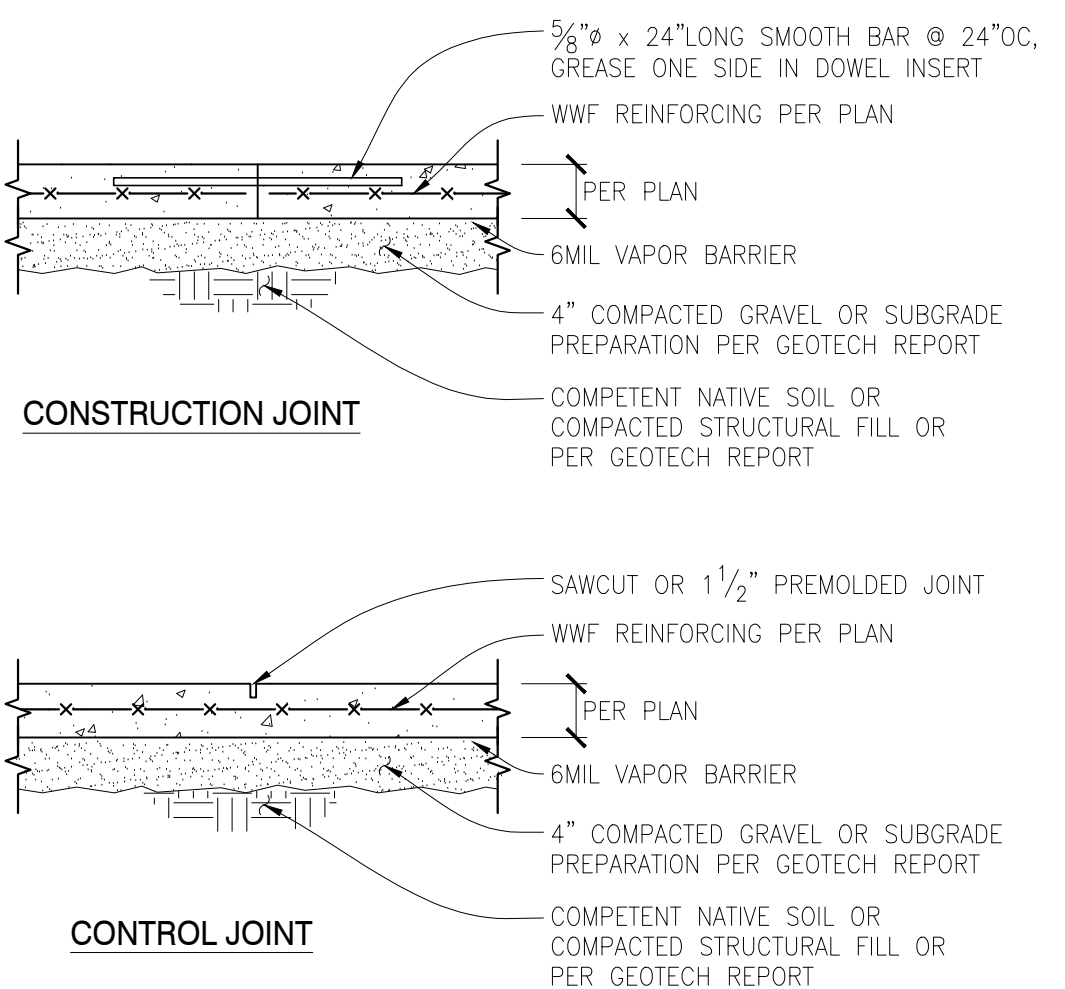
STRUCTURAL
 DETAILS

S-2.0



TYPICAL SHEAR WALL HOLDDOWN CONNECTIONS AT FOUNDATION CONCRETE WALL

SCALE: N.T.S.

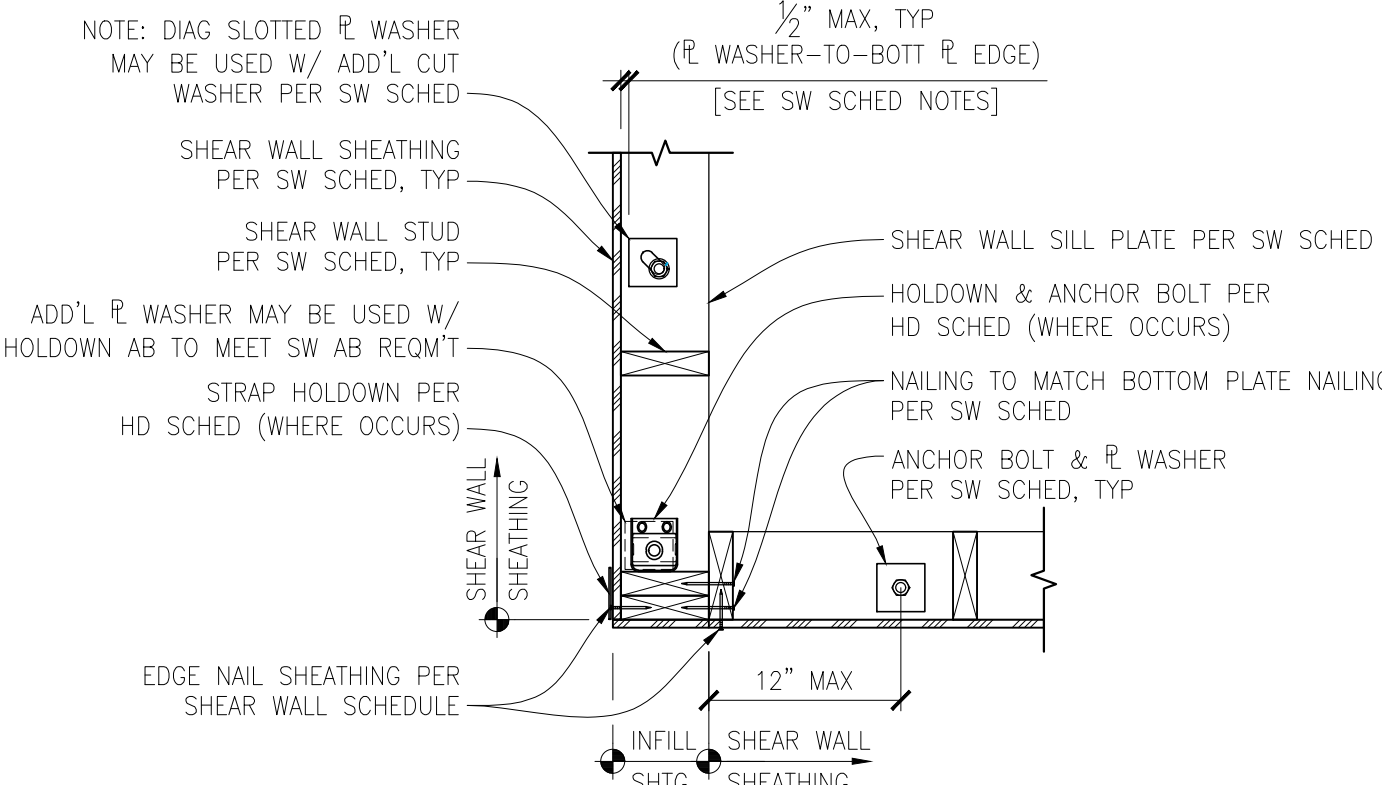
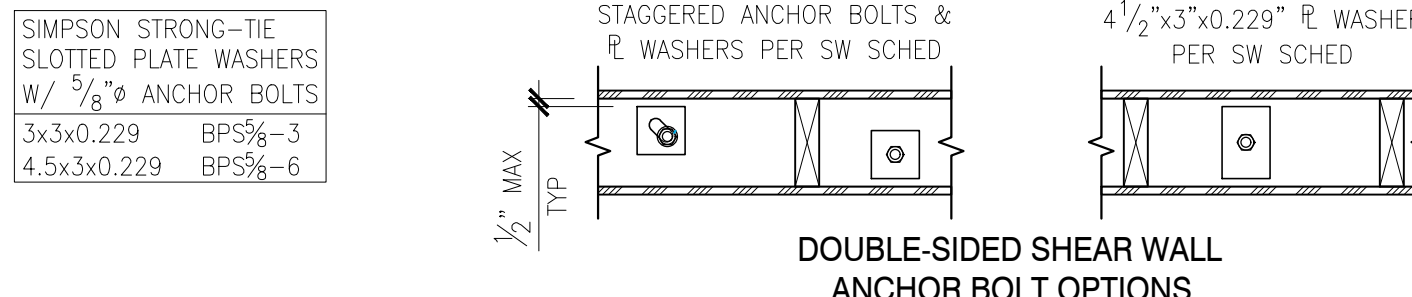


NOTES:

- FOR CONSTRUCTION OR CONTROL JOINT LOCATIONS REFERENCE FOUNDATION/SLAB PLAN
- USE "SOFTCUT SAW" AS SOON AS POSSIBLE WITHOUT CAUSING RAVELING OF CONCRETE EDGES. SAWCUT ALONG SHORT DIRECTION OF POUR FIRST
- PROVIDE CONSTRUCTION/CONTROL JOINT TO ENCLOSE APPROXIMATE SQUARE AREAS OF 225 SF MAX

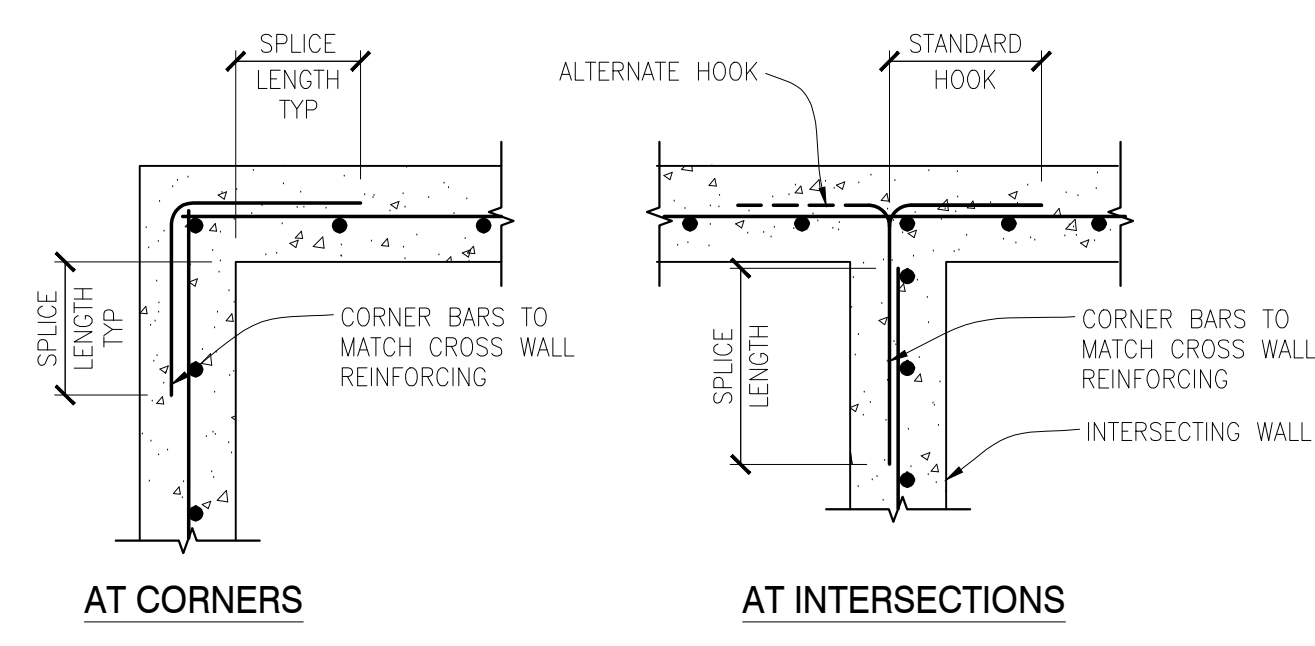
TYPICAL SLAB ON GRADE JOINT DETAILS

SCALE: N.T.S.



TYPICAL PLAN VIEW - SHEAR WALL HOLDDOWNS & ANCHOR BOLTS

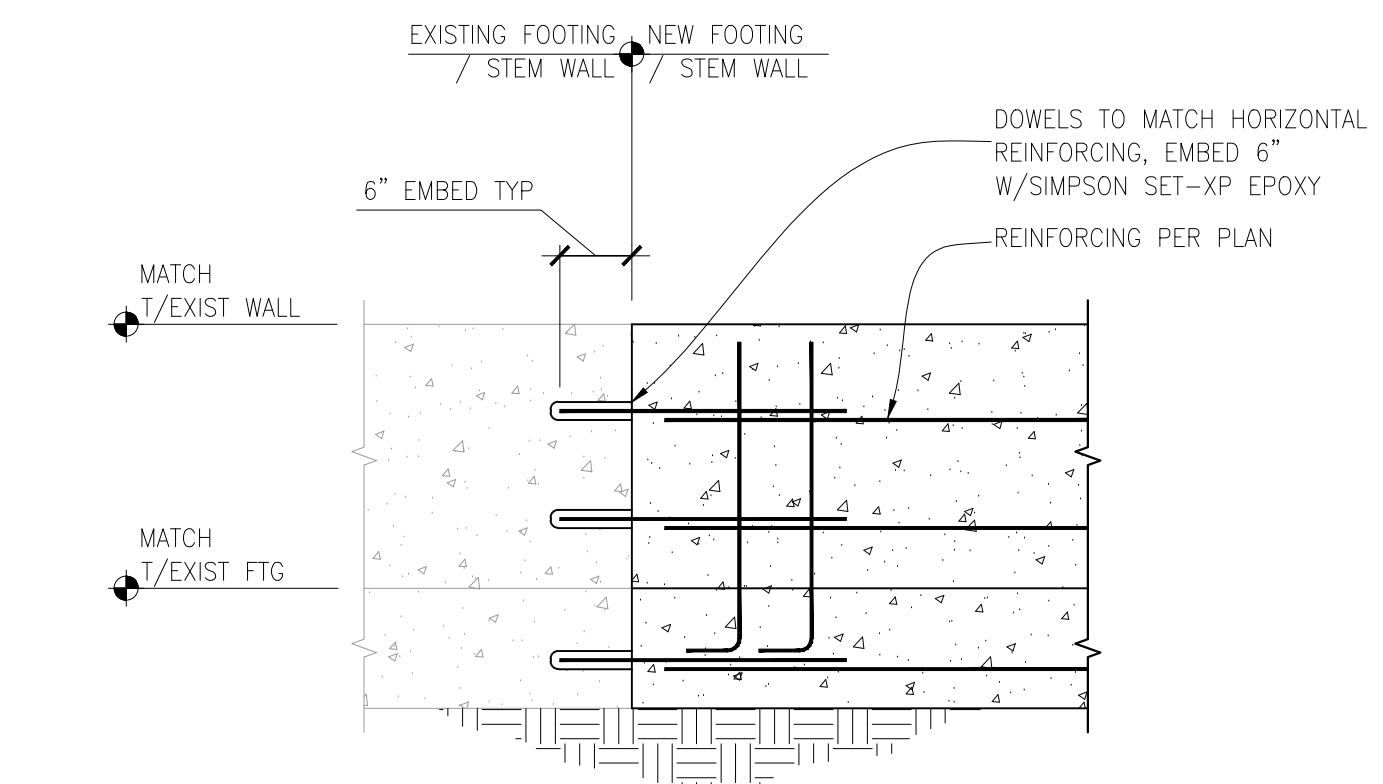
SCALE: 1" = 1'-0"



SPlice LENGTH	
BAR	LENGTH
#4	28"
#5	36"

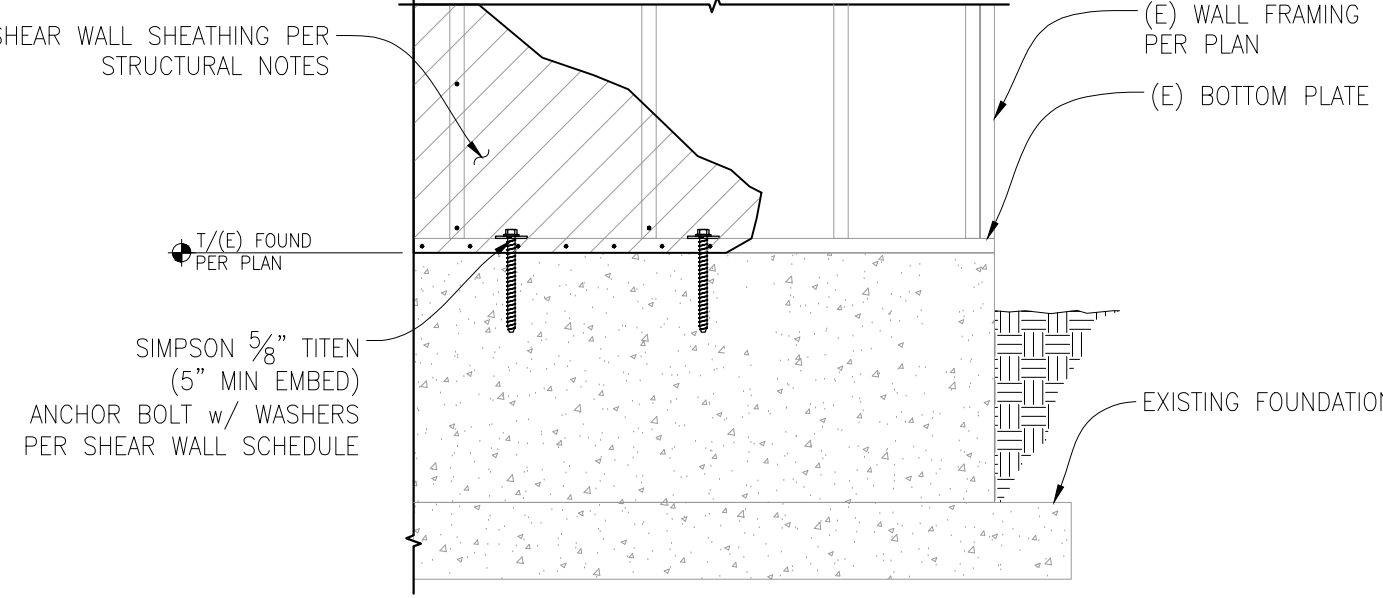
TYPICAL CORNER BARS AT CONCRETE WALLS - SINGLE MAT

SCALE: N.T.S.



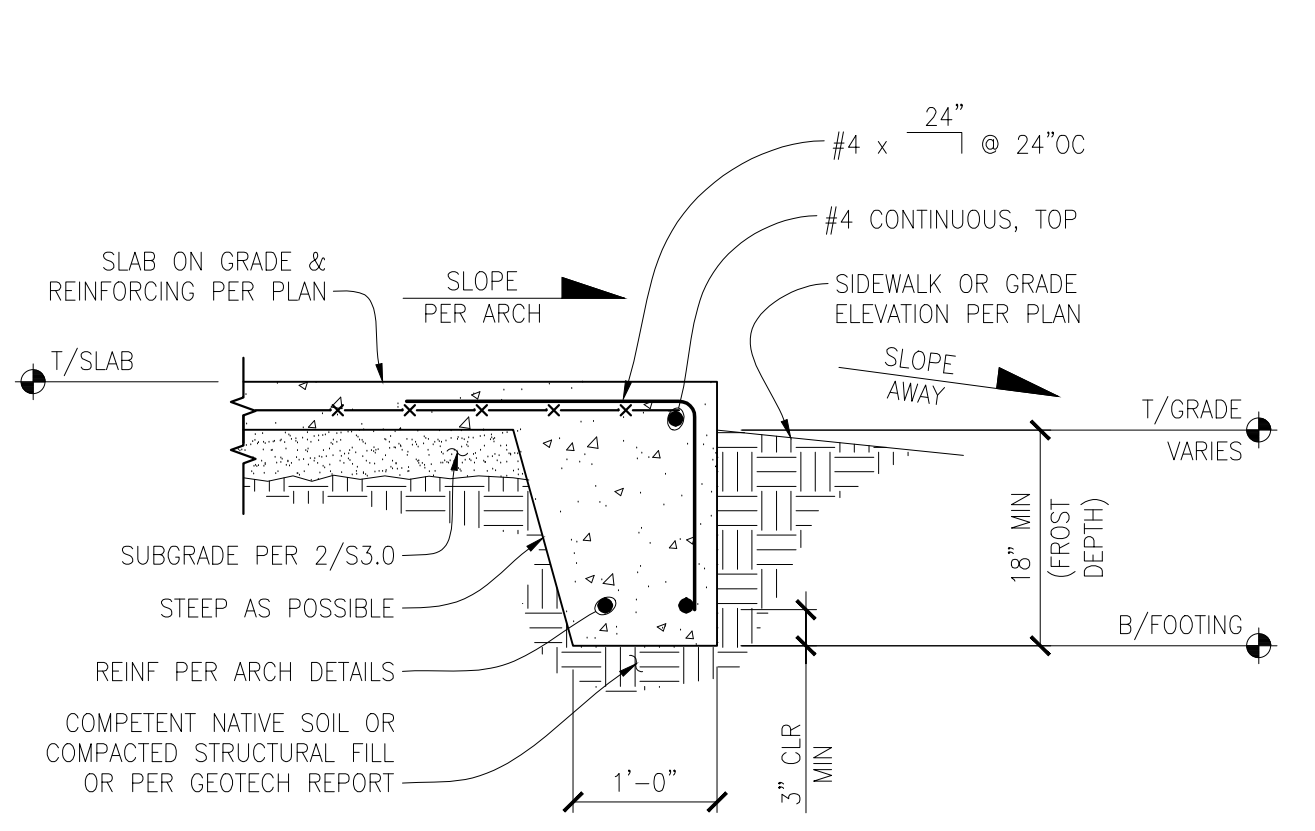
NEW FOUNDATION CONNECTION TO EXISTING

SCALE: 3/4" = 1'-0"



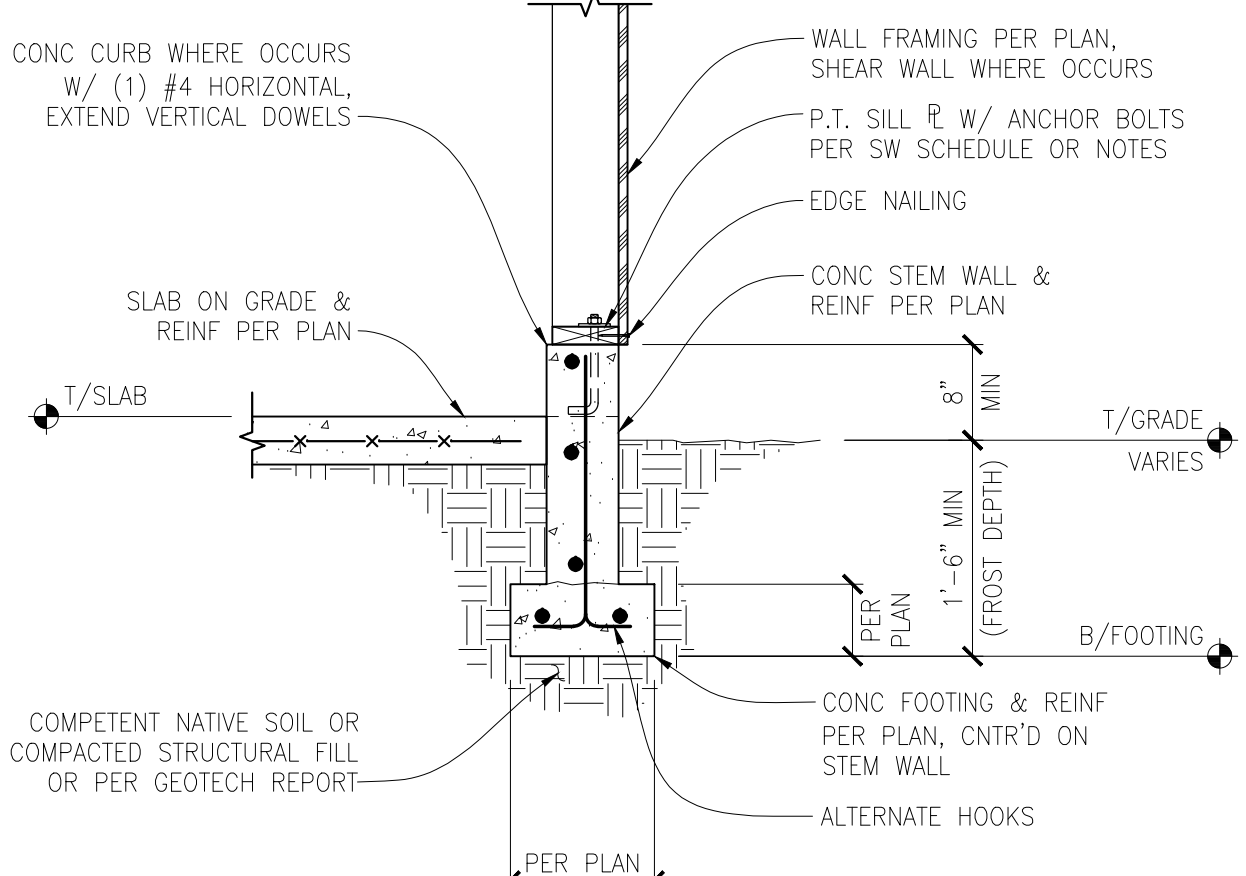
TYP. NEW SHEAR WALL TO EXISTING FOUNDATION CONNECTION

SCALE: 3/4" = 1'-0"



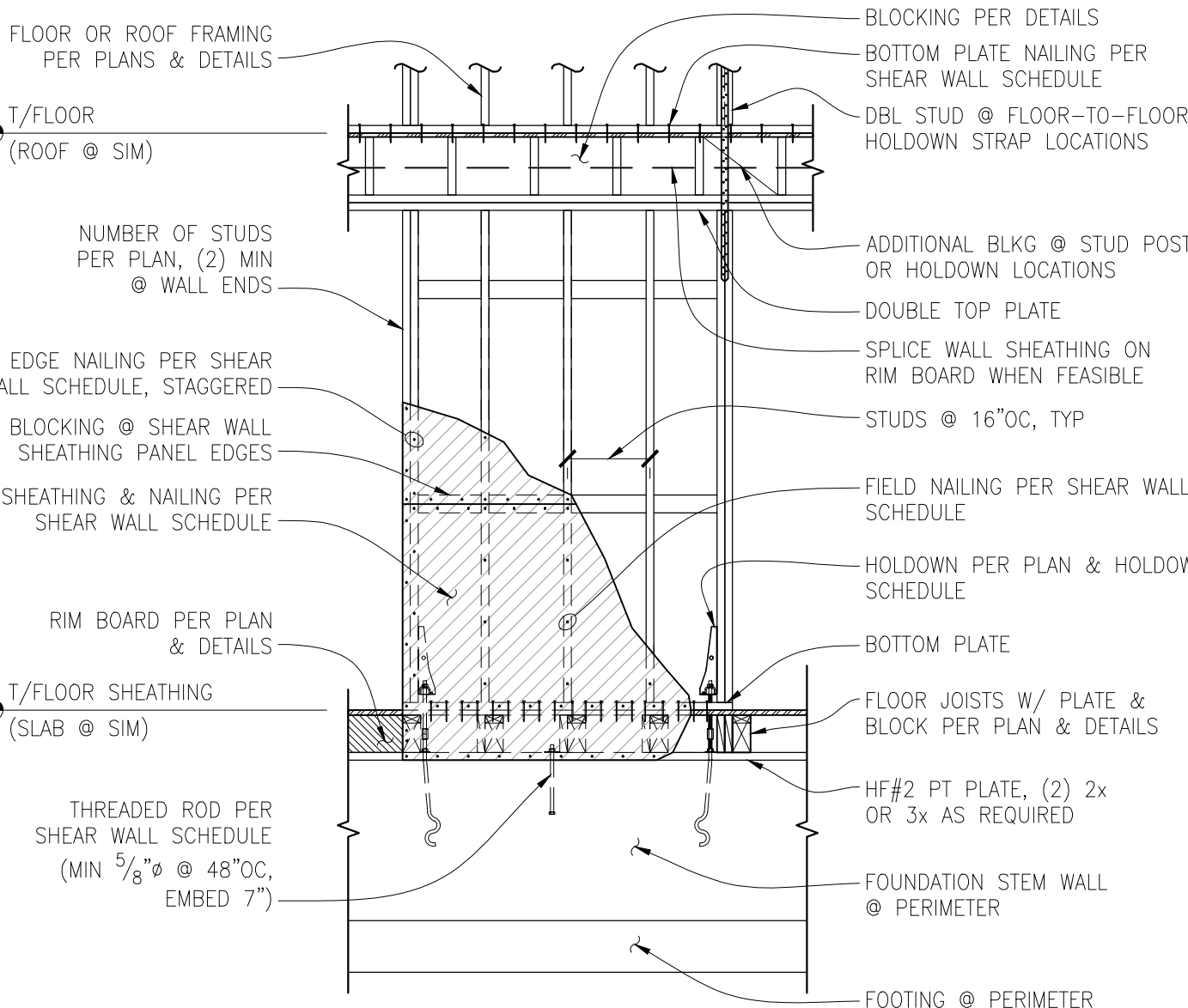
TYPICAL THICKENED SLAB EDGE FOOTING

SCALE: 3/4" = 1'-0"



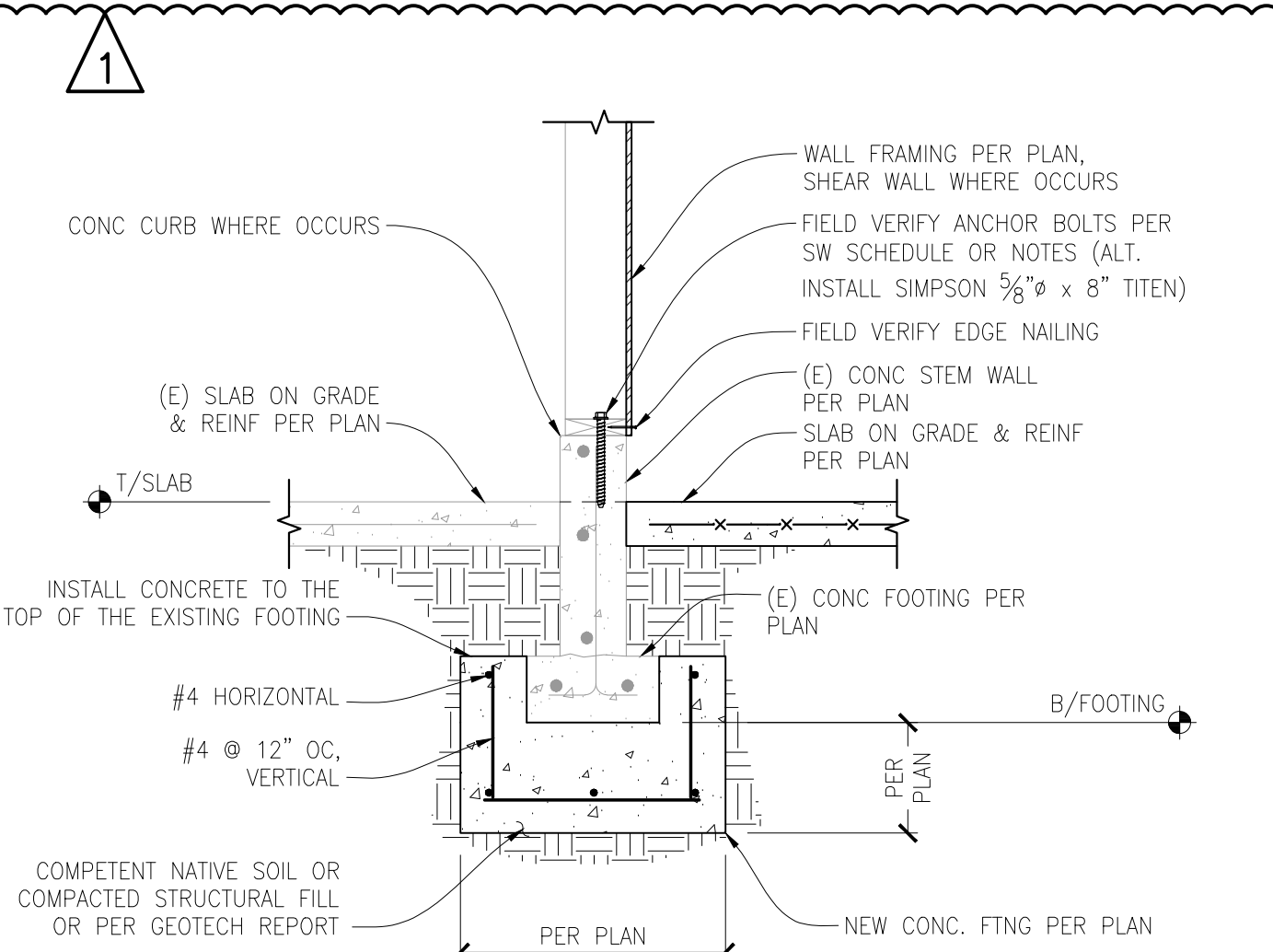
TYPICAL FOUNDATION FOOTING AND STEM WALL WITH SLAB ON GRADE

SCALE: 3/4" = 1'-0"



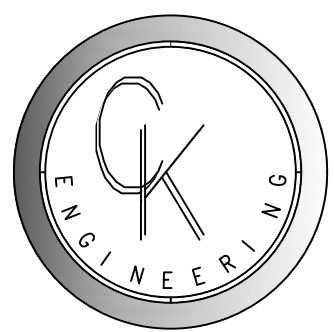
TYPICAL SHEAR WALL ELEVATION

SCALE: N.T.S.



TYPICAL FOUNDATION FOOTING AND STEM WALL WITH SLAB ON GRADE

SCALE: 3/4" = 1'-0"



CK ENGINEERING LLC
 PROFESSIONAL STRUCTURAL
 ENGINEERING SERVICES
 19105 36th Ave. W. Suite 205
 Lynnwood, WA 98036
 Phone: (206) 417-0670



3/13/2020

HOLT RESIDENCE
 9224 SE 60TH ST.
 MERCER ISLAND, WA 98040

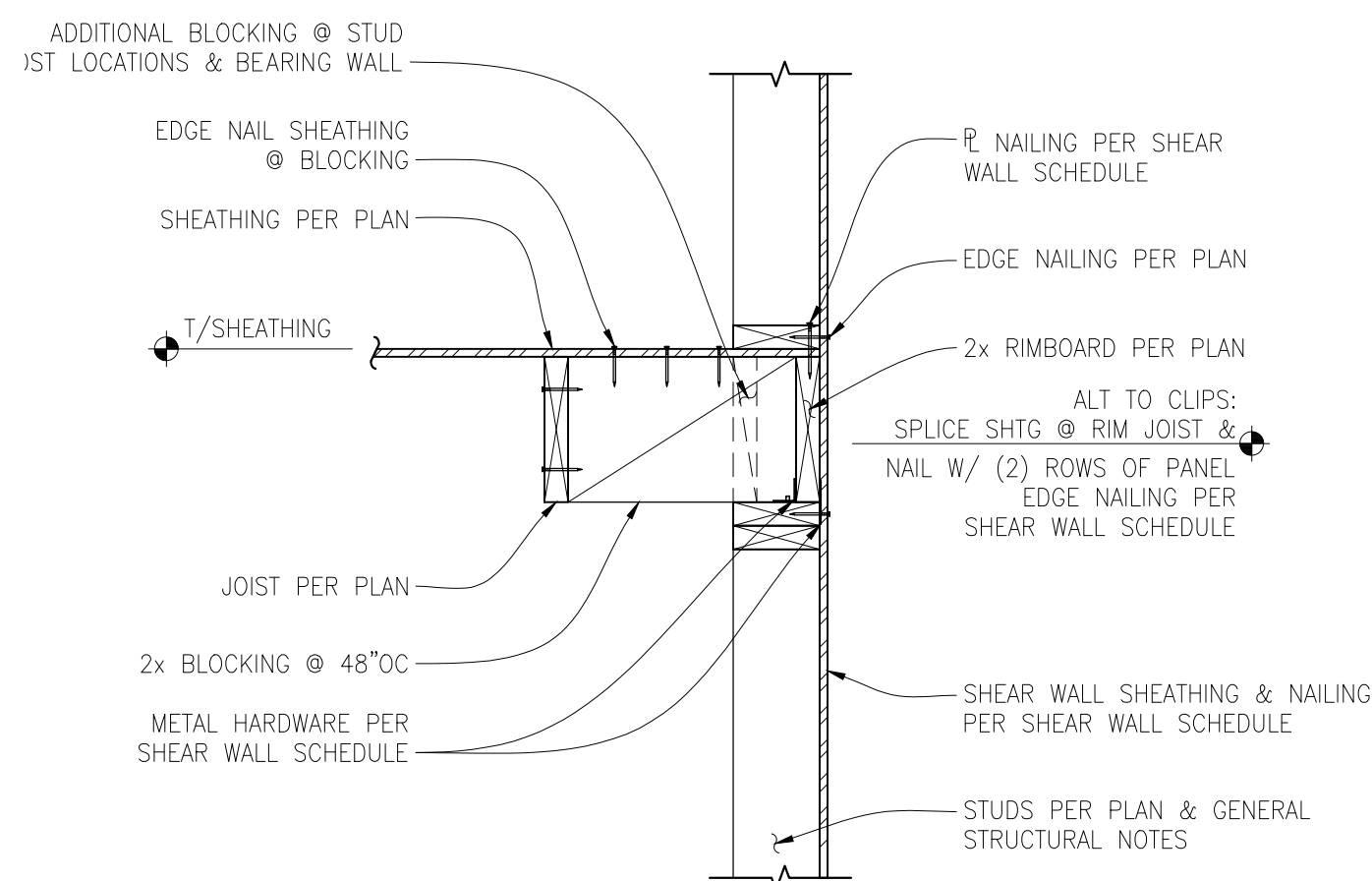
REVISION #	DATE	DESCRIPTION

Drawn By: PK
 Checked By: SC
 Date: 3-13-2020

CK JOB NO.
 20-014

STRUCTURAL
 DETAILS

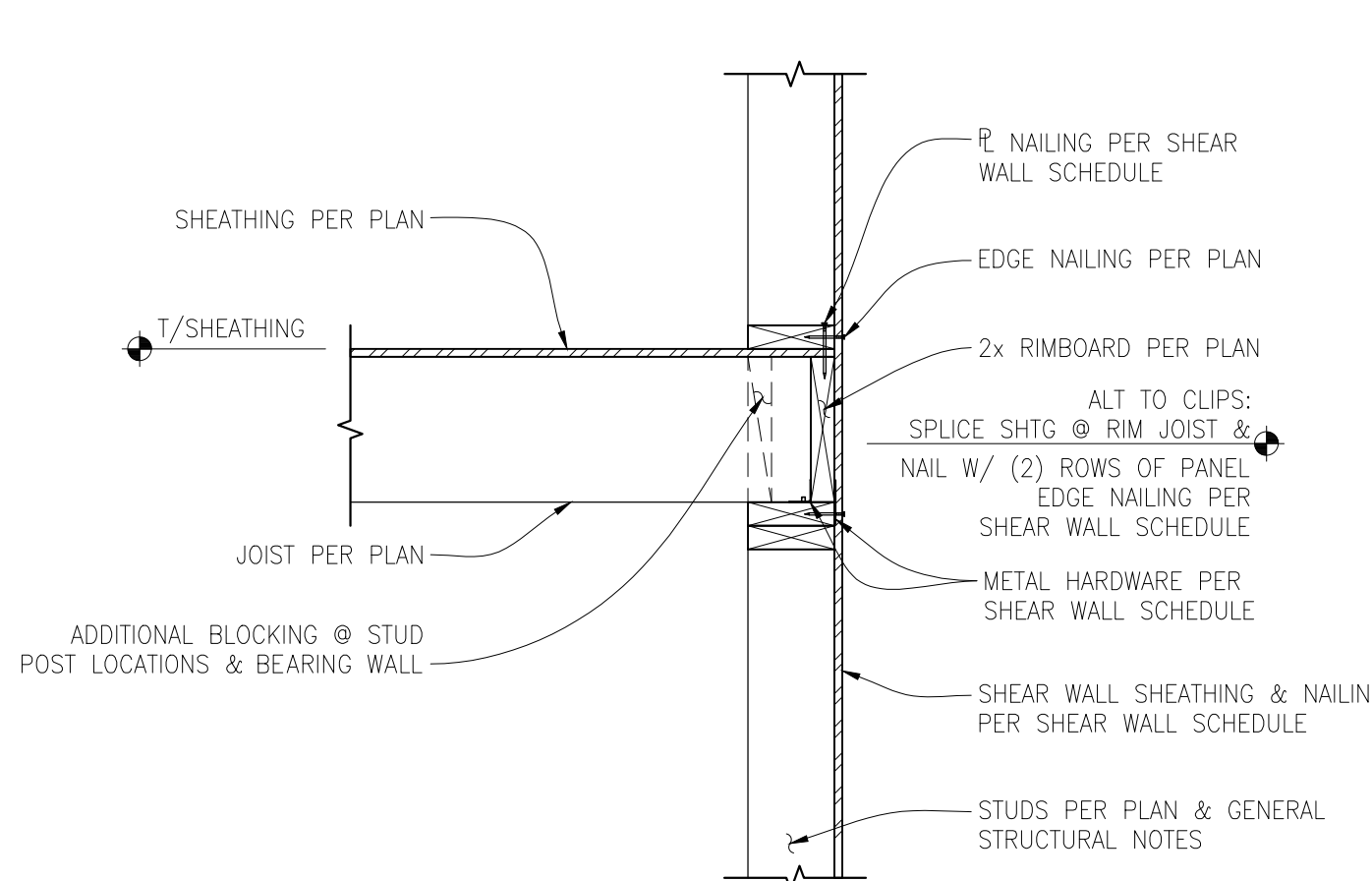
S-3.0



EXTERIOR WALL PARALLEL TO JOISTS

SCALE: 1" = 1'-0"

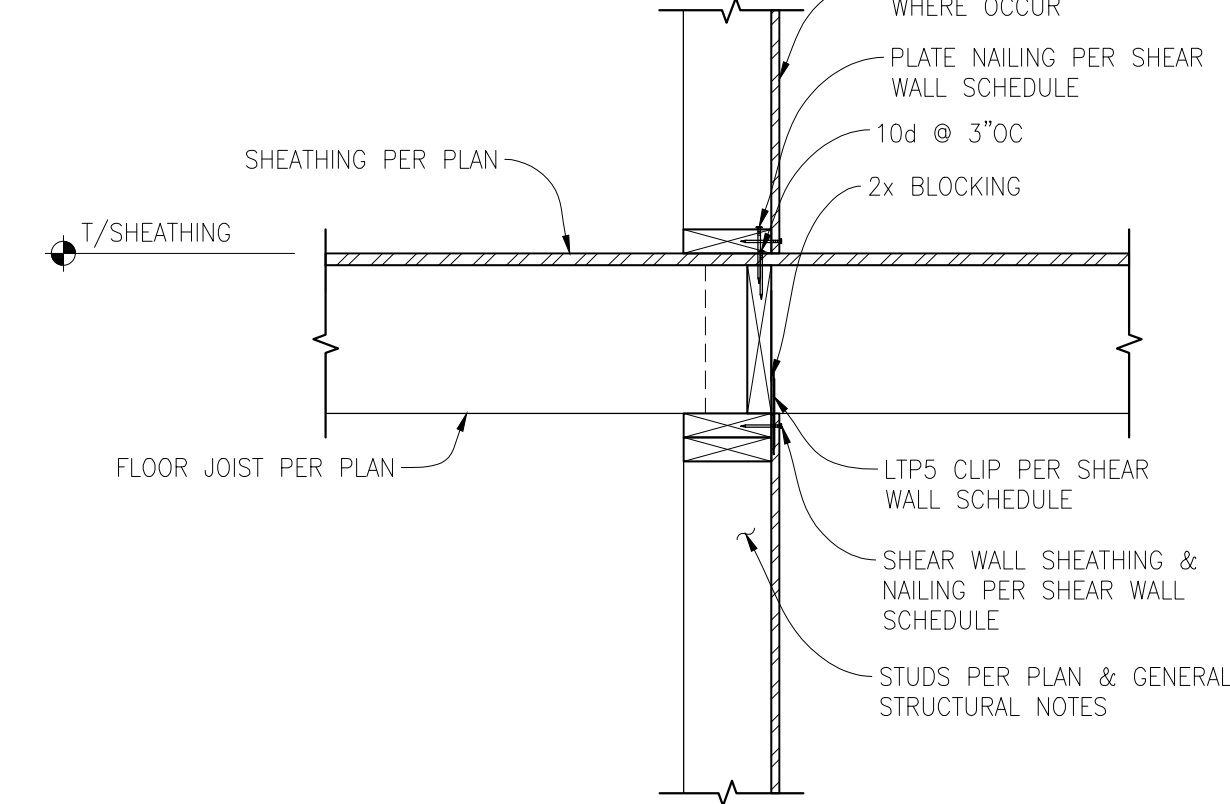
1



EXTERIOR WALL PERPENDICULAR TO JOISTS

SCALE: 1" = 1'-0"

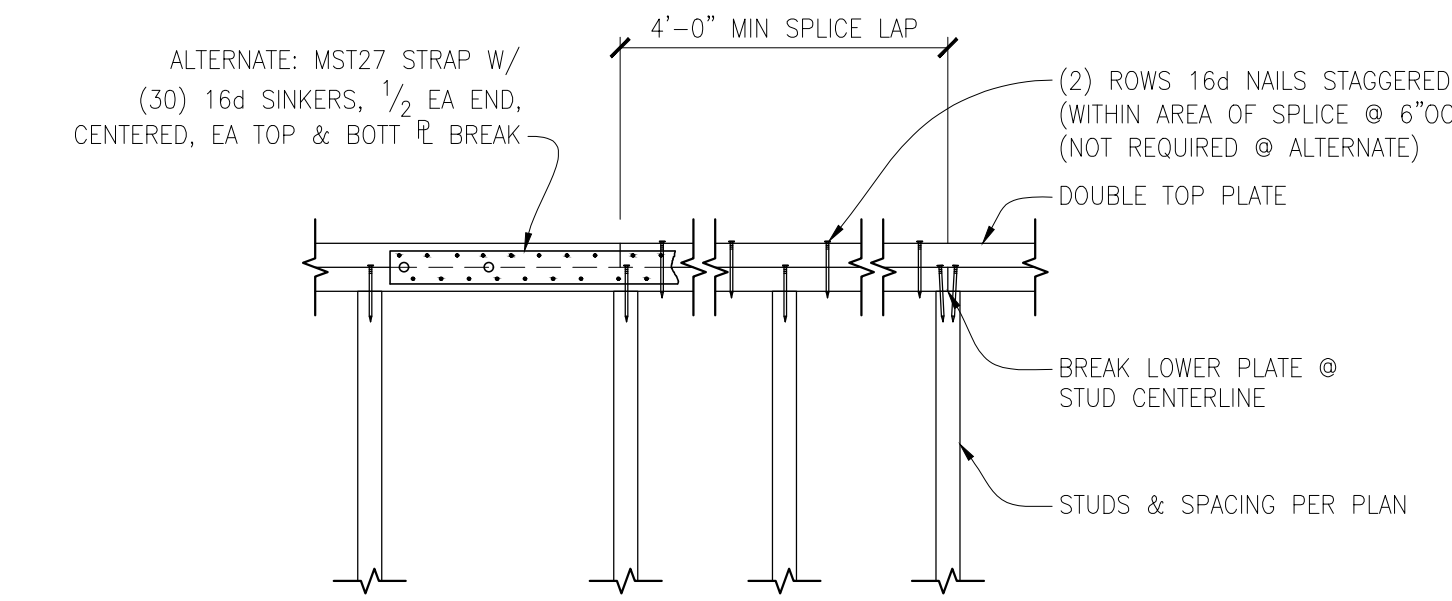
2



FLOOR JOIST PERP. AT INTERIOR BEARING/SHEAR WALL

SCALE: 1" = 1'-0"

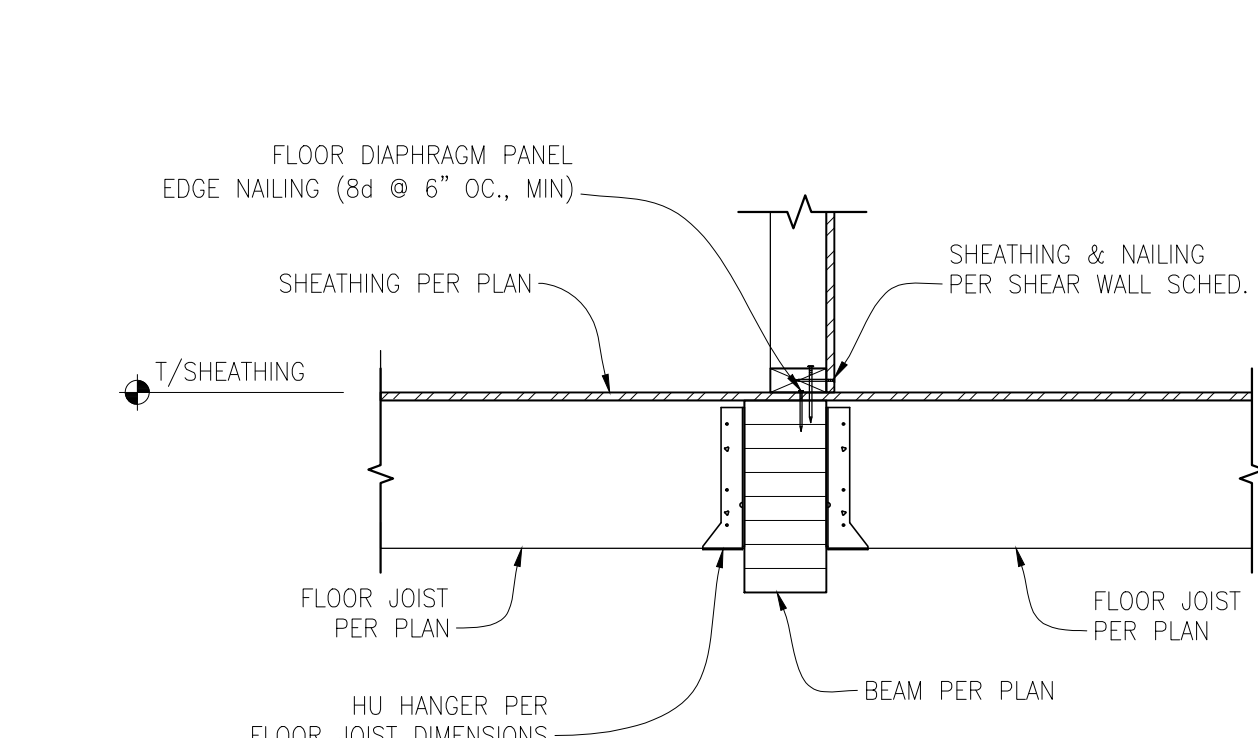
3



TYPICAL PLATE SPLICE DETAIL

SCALE: N.T.S.

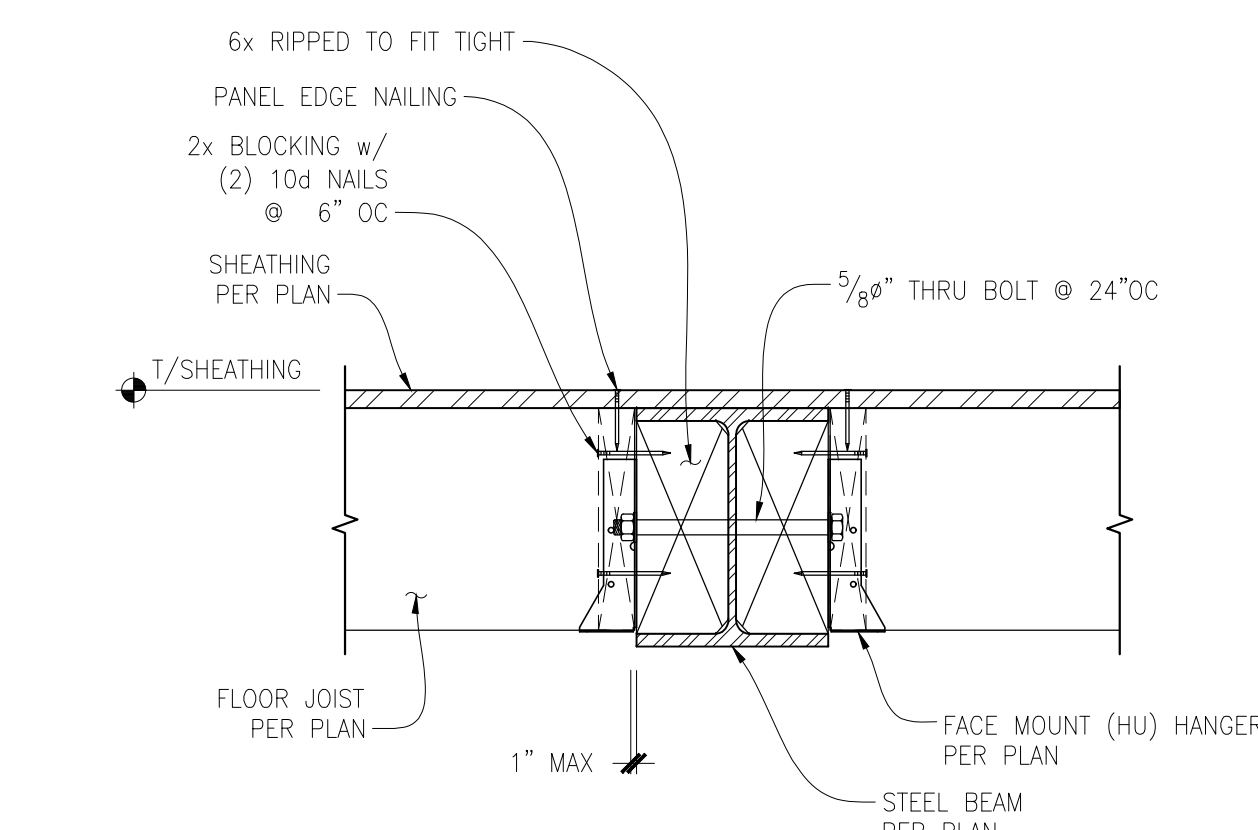
4



FLOOR JOIST BEAM CONNECTION

SCALE: 1" = 1'-0"

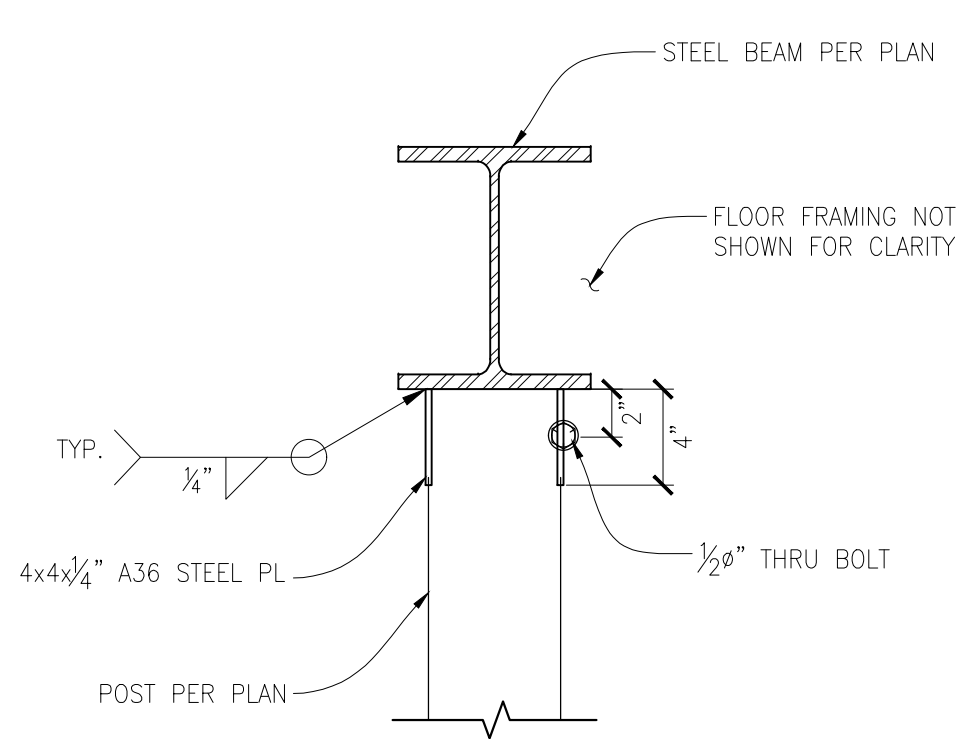
5



TYP. FLOOR JOIST TO FLUSH WIDE FLANGE BEAM

SCALE: 1 1/2" = 1'-0"

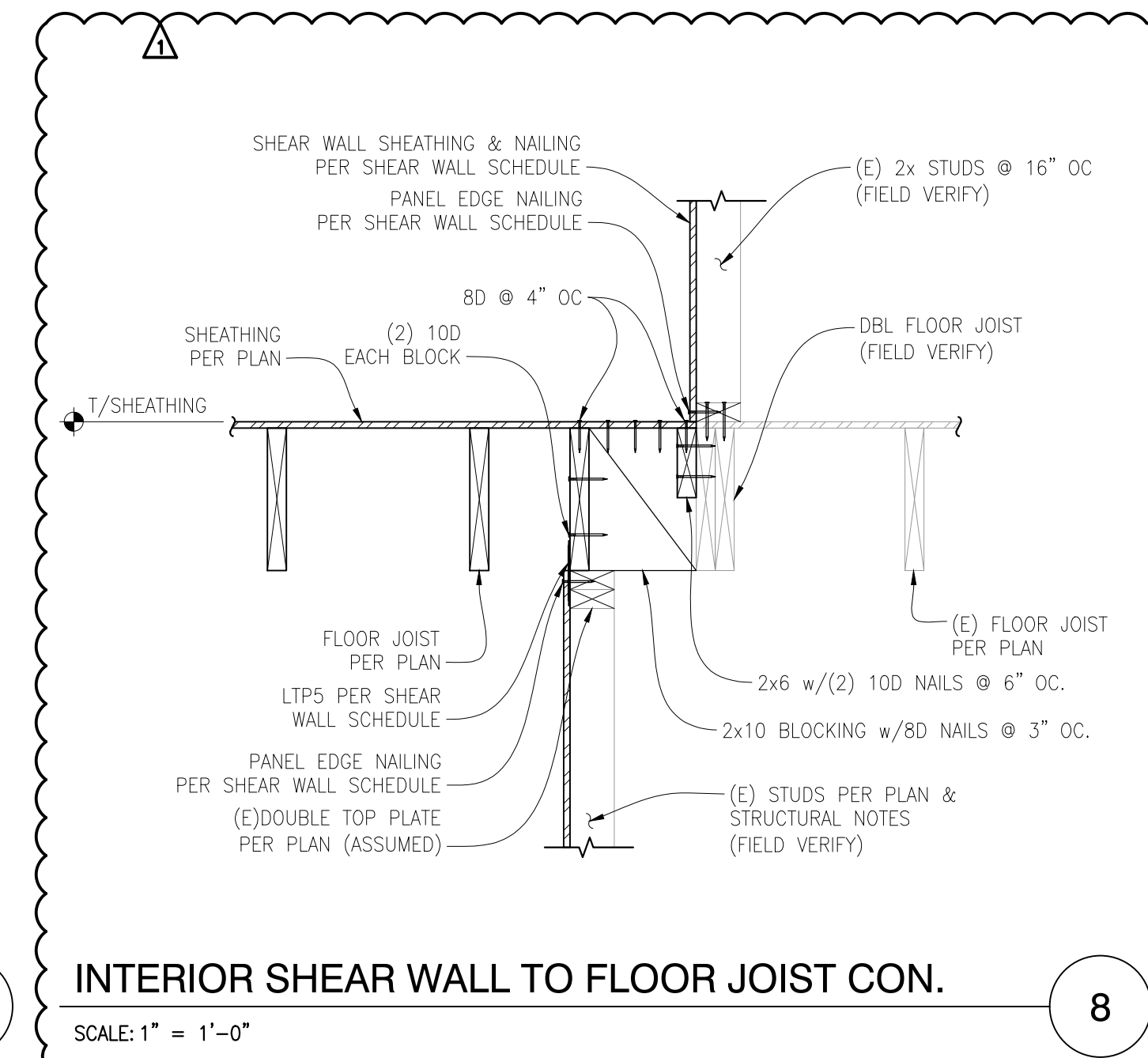
6



WIDE FLANGE BEAM TO WOOD POST CONNECTION

SCALE: 1 1/2" = 1'-0"

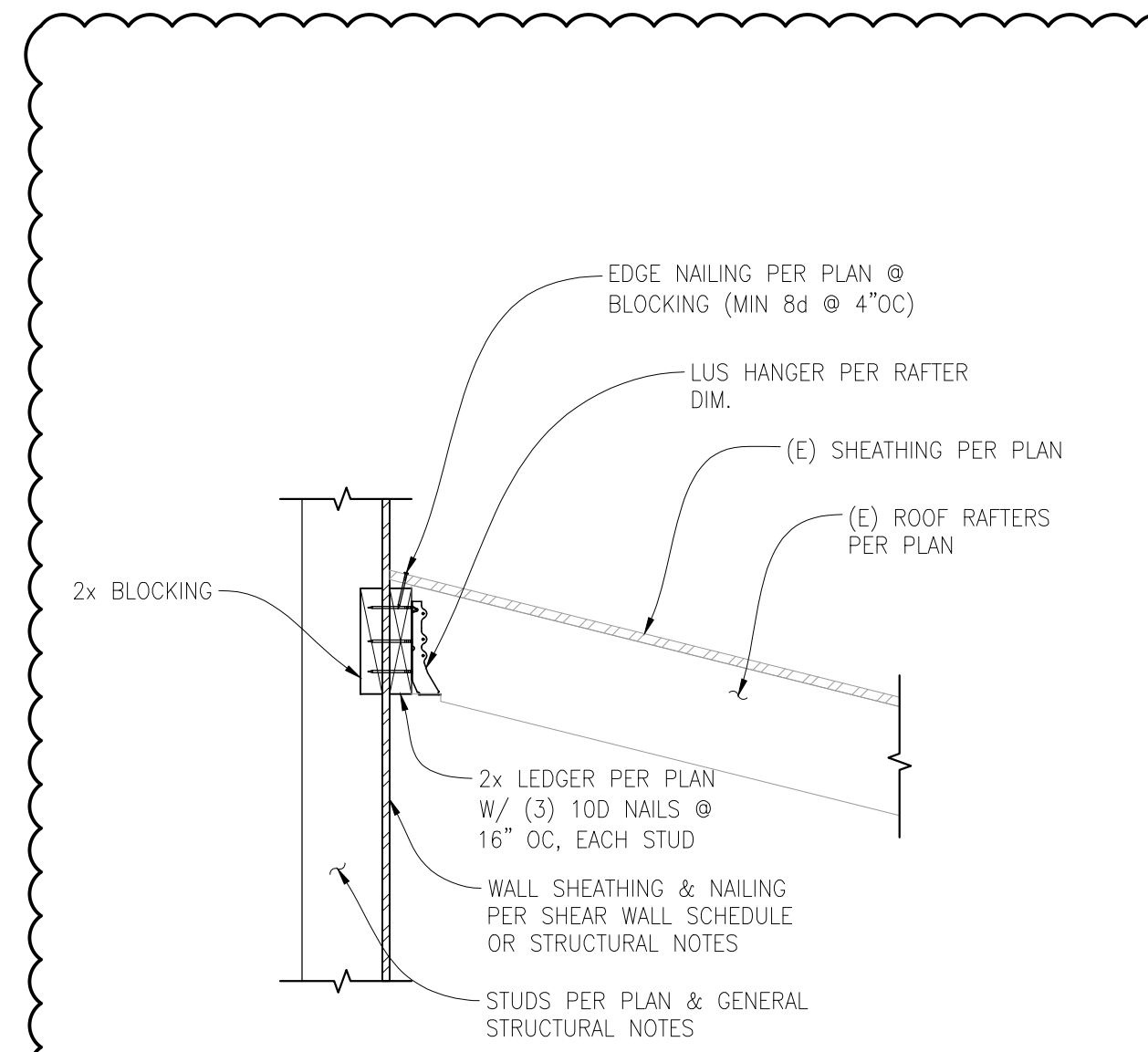
7



INTERIOR SHEAR WALL TO FLOOR JOIST CON.

SCALE: 1" = 1'-0"

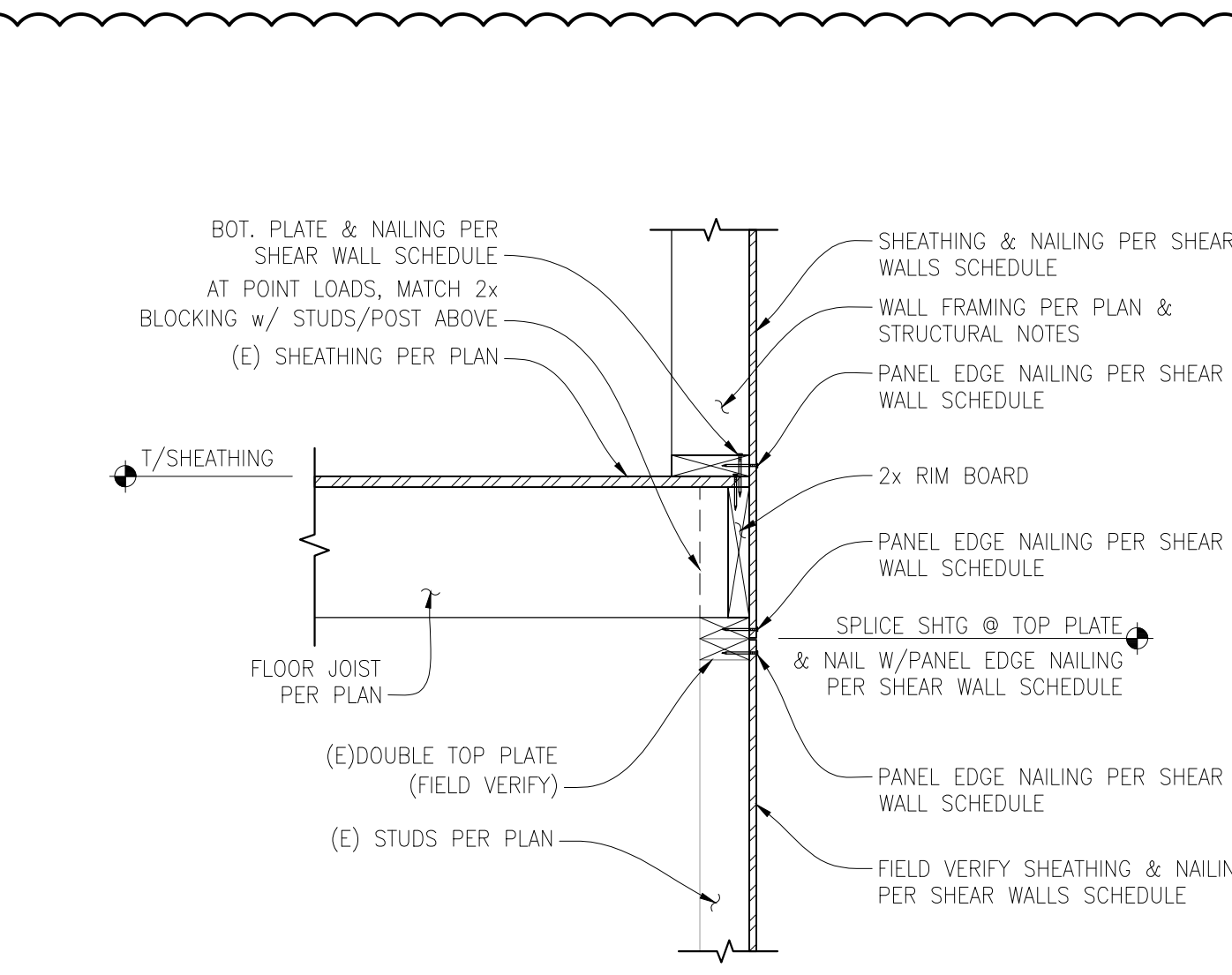
8



ROOF RAFTERS/LEDGER/WALL CONNECTION

SCALE: N.T.S.

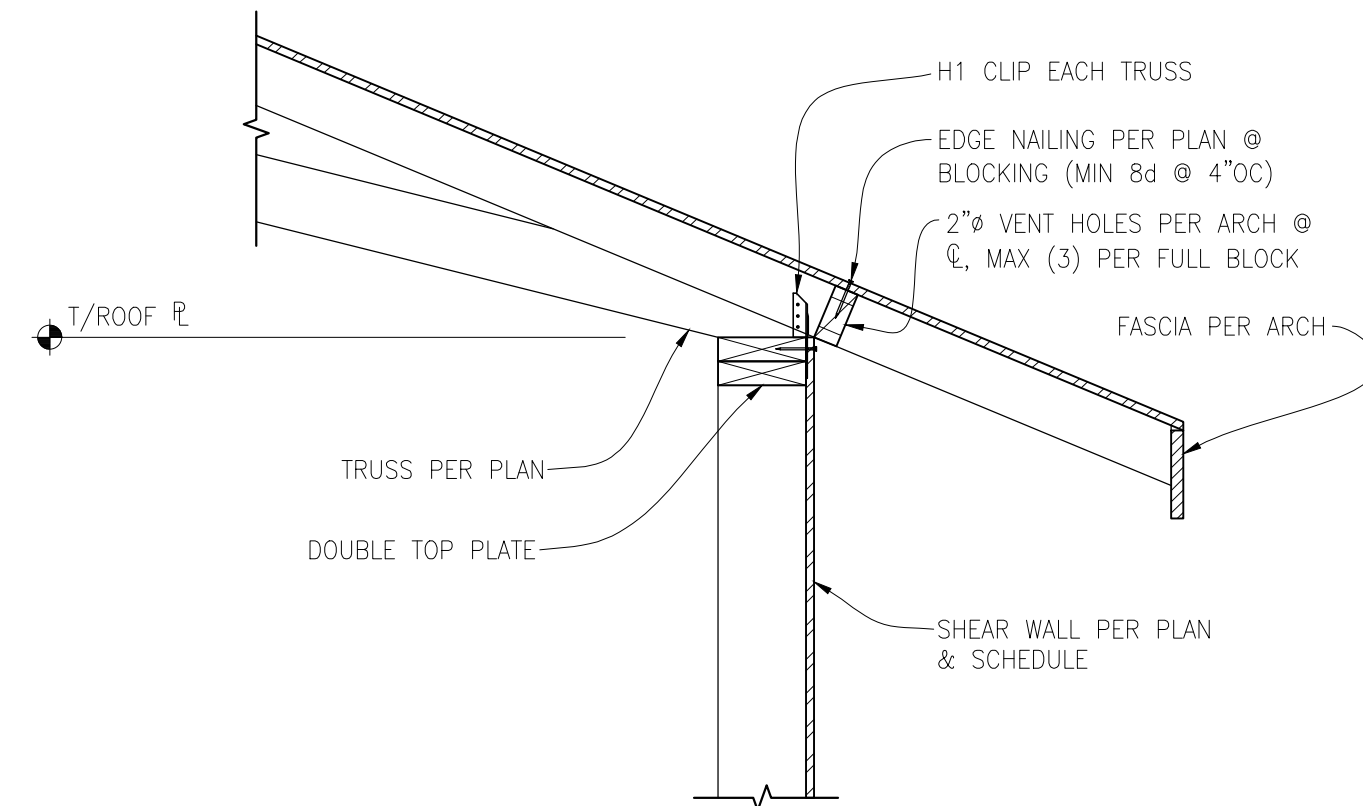
9



NEW TO EXISTING EXTERIOR SHEAR WALL PERP. TO FLOOR JOIST

SCALE: 1" = 1'-0"

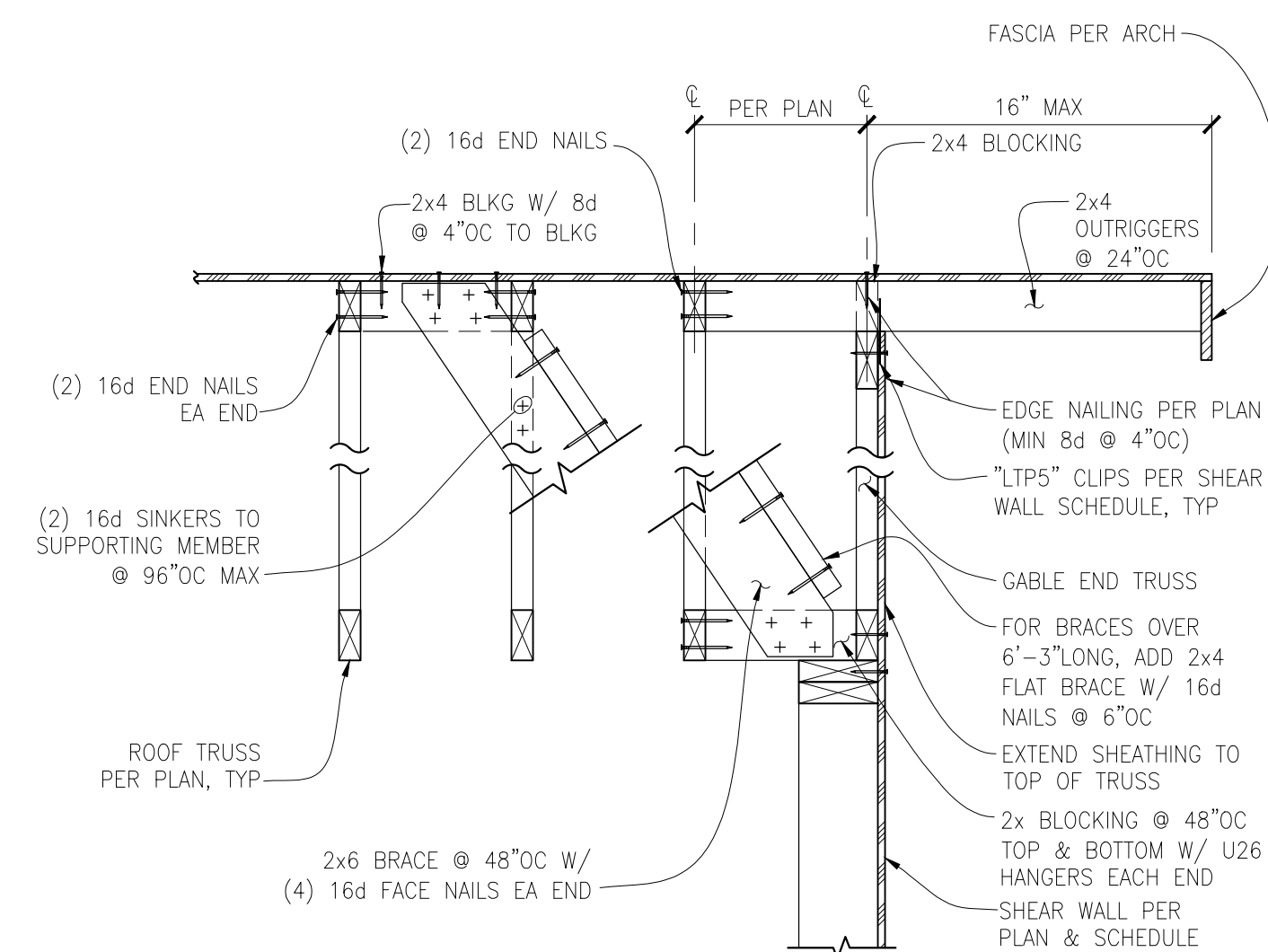
10



EXTERIOR SHEAR WALL PERPENDICULAR TO ROOF TRUSS

SCALE: 1" = 1'-0"

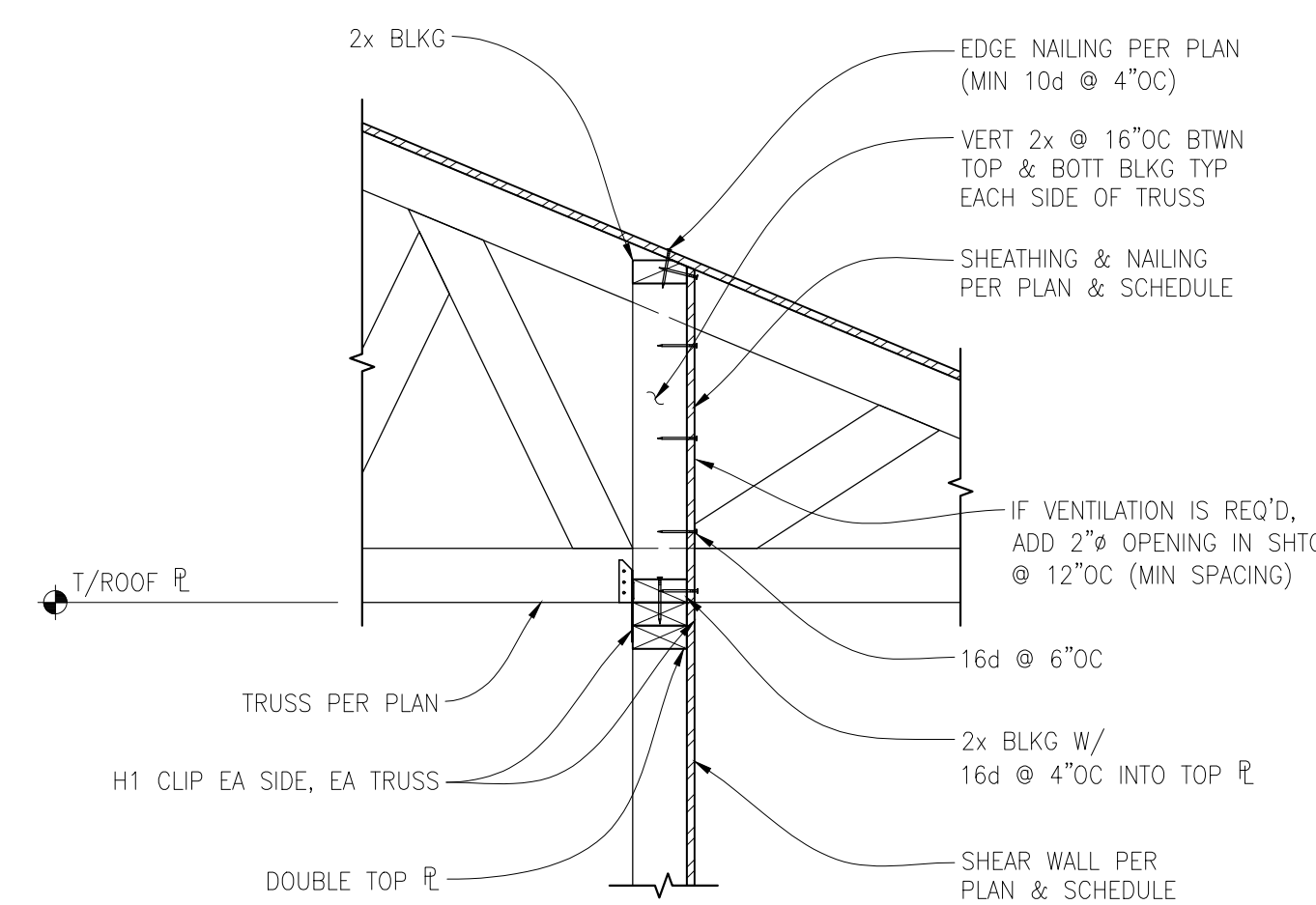
1



EXTERIOR SHEAR WALL PARALLEL TO ROOF TRUSS

SCALE: N.T.S.

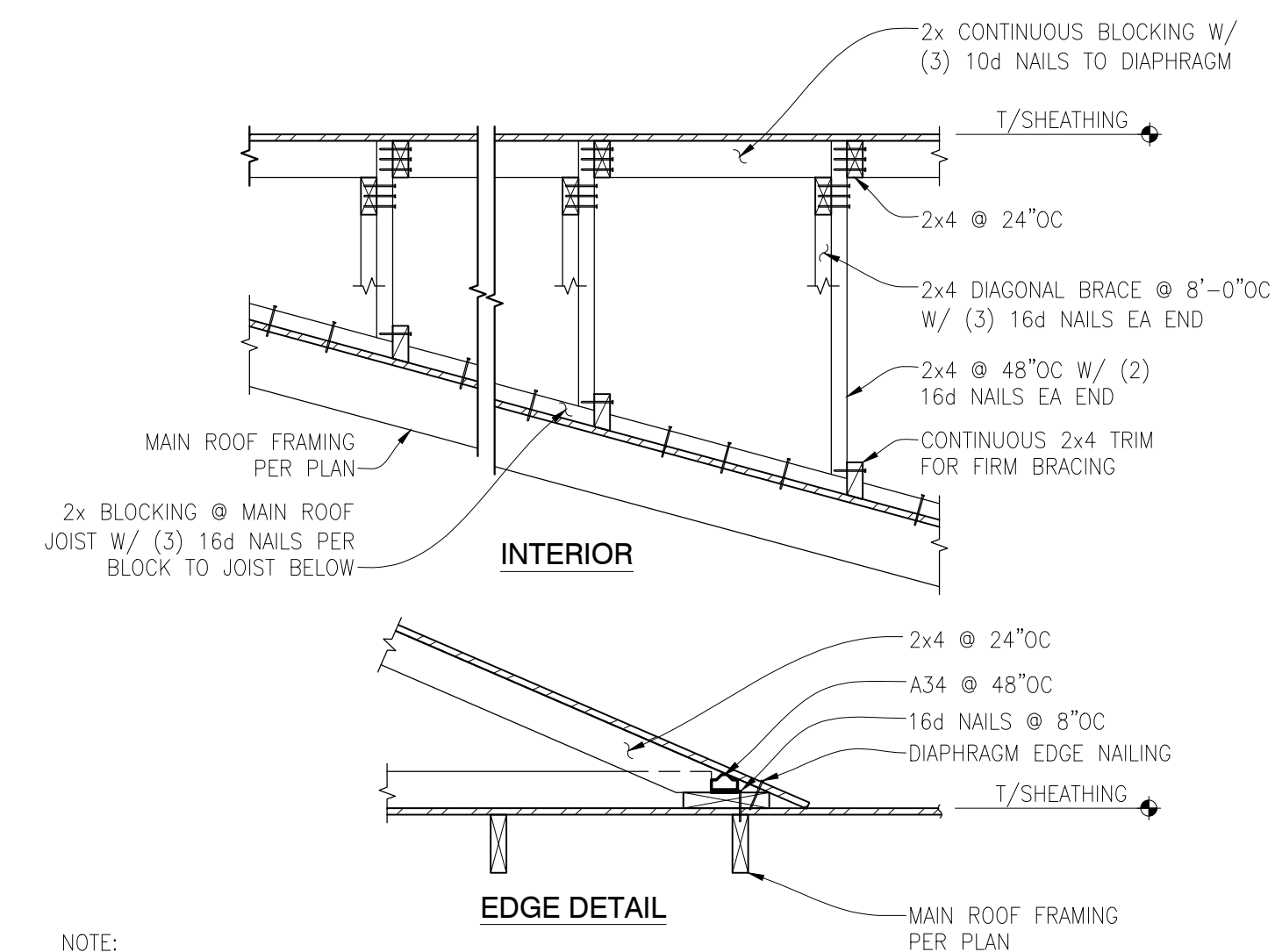
2



INTERIOR SHEAR WALL PERPENDICULAR TO ROOF TRUSS

SCALE: 1" = 1'-0"

3

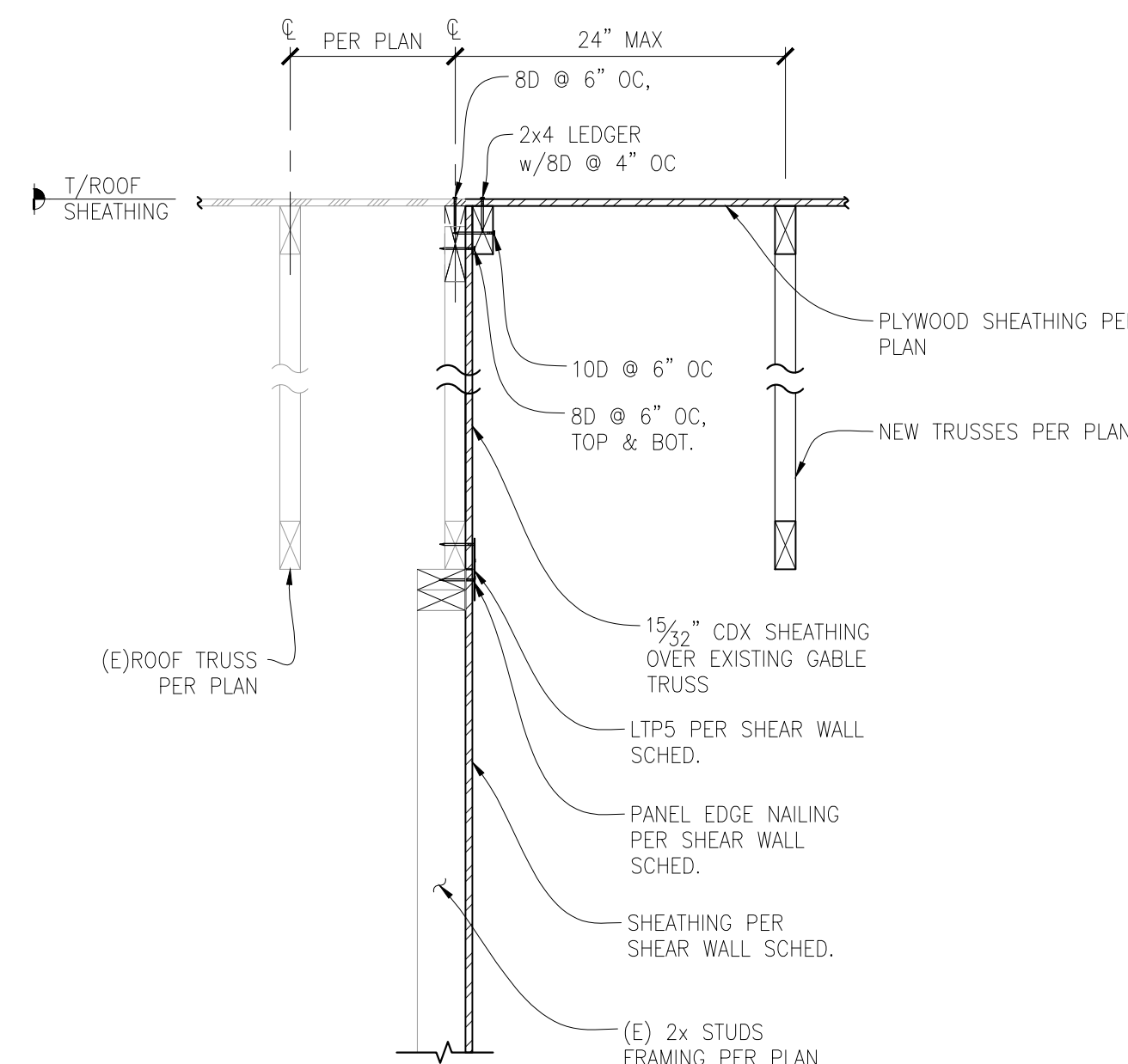


TYPICAL ROOF OVERFRAMING DETAIL

SCALE: N.T.S.

4

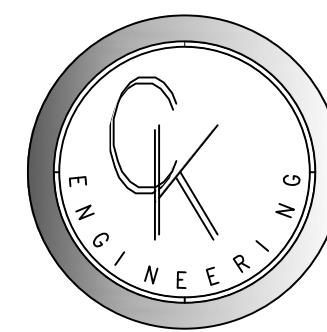
NOTE:
VENTILATION MAY BE REQUIRED AT BLOCKING. VERIFY METHOD WITH ENGINEER PRIOR TO CONSTRUCTION.



EXISTING TO NEW ROOF TRUSS CONNECTION

SCALE: 1" = 1'-0"

5



CK ENGINEERING LLC
PROFESSIONAL STRUCTURAL
ENGINEERING SERVICES
19105 36th Ave W, Suite 205
Lynnwood, WA 98036
Phone: (206) 417-0670



6/3/2020

HOLT RESIDENCE
9224 SE 60TH ST.
MERCER ISLAND, WA 98040

REVISION #	DATE	DESCRIPTION
1	06-03-2020	BDC REVIEW

Drawn By: PK
Checked By: SC
Date: 6-3-2020

CK JOB NO.
20-014

1 STRUCTURAL
DETAILS
S-4.0